

Cork County Council
Comhairle Contae
Chorcaí

Housing Directorate
Stiúrthóireacht
Tithíochta



Invitation for Expression of Interest

for a Development Partner for the Developed Design,
Construction, Delivery & Sale of a mixed tenure Affordable
and Social housing development

at

Beechgrove Clonakilty

for

Cork County Council

Date: July 2026

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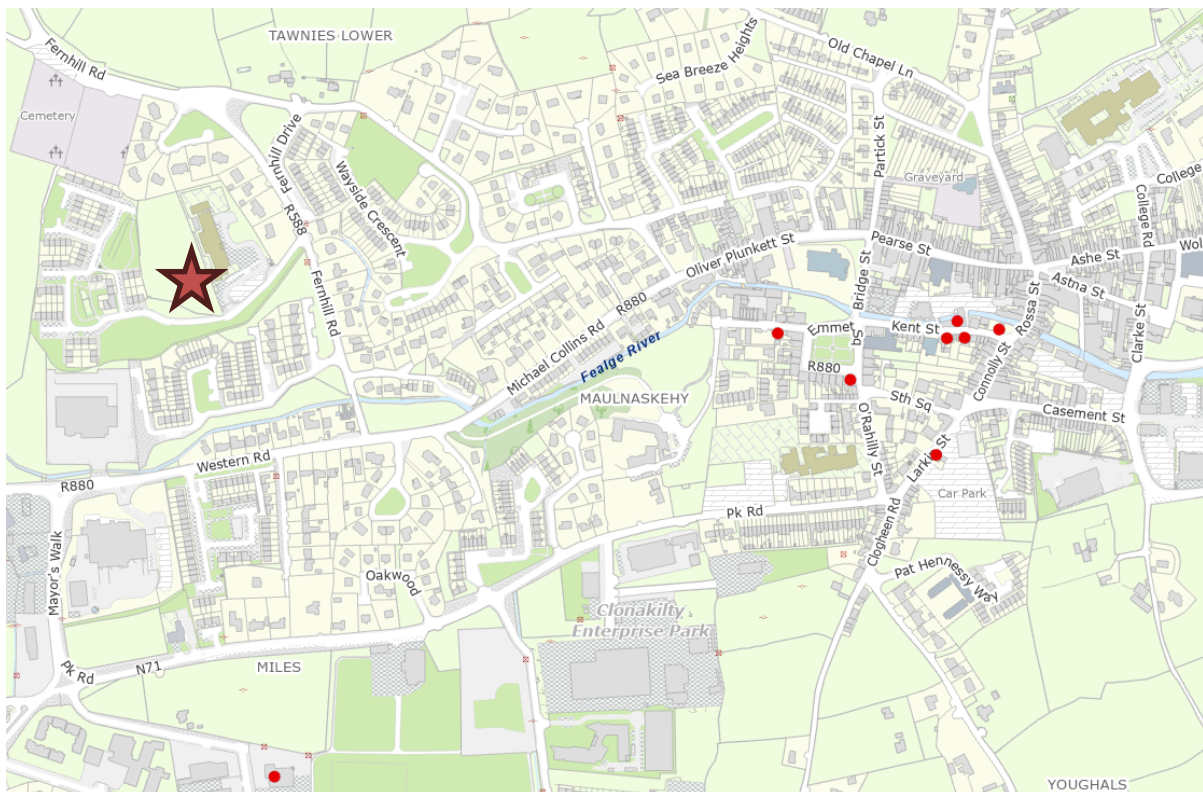
1 BACKGROUND INFORMATION

1.1 General

In 2019 Cork County Council (CCC) completed Phase 1 of a social & affordable housing scheme on Council Owned lands at Beechgrove Clonakilty. CCC now wish to develop the remainder of the site in accordance with the Planning permission already in place for the overall development.

Clonakilty is located Southwest of Cork City and approximately 30 kilometres East of Skibbereen town. Clonakilty is accessed by the N71 National Road which connects Cork City all the way west to Kenmare in Co. Kerry. Clonakilty would be considered a prominent tourist destination in the West Cork region as it benefits from a central location to multiple high-quality beaches and tourist attractions. Clonakilty has many amenities including a Cinema, Leisure centre, all weather pitches, and food & drink establishments.

The site is situated to the West of the Town, approximately 200 meters West of Fernhill Road R588. Gaelscoil Mhichil Ui Choileain primary school is adjacent to the site on its Eastern boundary and within 15mins walk of the town centre.



The site consists of a rectangular shaped brownfield site extending to approximately **2.44** acres (c.0.99 Ha). The site has the benefit of road frontage; and is also access by a shared Residential Development roadway. It is bordered by Residential housing on its Western and Northern Boundary and has a primary school on its Eastern Boundary.

Currently Permission exists for 35 residential units on the site as below and the proposal is to develop units 1-6 as social housing units and Units 7-35 as affordable housing units.



1.2 Funding Support

CCC funding support for the scheme is provided via the Affordable Homes Fund (max €75,000 per unit) and Social Housing Investment Programme for the social units only.

1.3 Partnering

The appointed Developer shall assume full responsibility for the delivery of the project from current

part 8 design to completion, including design development, provision of all associated infrastructure, and construction of all residential units.

The Developer shall secure all statutory approvals, certifications, and compliance sign-offs.

The Developer shall deliver completed Social and Affordable Housing units to Cork County Council in accordance with agreed specifications and programme.

The Developer shall fully fund the delivery of the Affordable Housing units and associated site infrastructure.

Affordable Housing units shall be marketed and sold at pre-determined prices to purchasers nominated by Cork County Council.

The Developer shall enter into building agreements with purchasers nominated by Cork County Council. Social Housing units shall be funded by Cork County Council through staged payments at agreed project milestones.

2 PROPOSED DELIVERY MECHANISM

It is intended that the successfully appointed Developer shall take full ownership of the project from current design to completion to include design development, associated infrastructure and unit delivery to include the obtaining of compliance/sign-off, delivery of social and affordable units to CCC or their agents and sale of the residual affordable units at pre-determined (min 15% below market value) prices to purchasers nominated by CCC.

The developer shall be fully responsible for financing the overall development with the 6 social units only eligible for stage payments. The €75,000 AHF support per unit for the Affordable housing will be made available to the developer upon completion of the housing units to roof level.

The successful Developer/Contractor will be required to enter into a development agreement ("Development Agreement" or the "Contract") with Cork County Council. The Final Development Agreement will be provided during the second stage (Stage 2) of this Competition, which main content will include: -

1. Delivery of the residential scheme and associated infrastructure to meet full compliance with planning and building regulations in their entirety to enable Developer to market the units at affordable levels.
2. The provision of a building license to the Developer for the purpose of completion of the development in its' entirety, to include successful completion of the infrastructure works to "Taking-in-Charge" standard as defined by Cork County Council.
3. Delivery of the designated social housing units to Cork County Council or their agents.
4. Delivery and marketing of the affordable units to approved purchasers for a sale price agreed with Cork County Council in advance of the contract award (min 15% below market value).
5. Developer responsible for ensuring the development complies with the "Taking-in-Charge" standard as defined by Cork County Council. The Developer shall maintain the development until such time as the County Council takes the development in charge.
6. The development will be designed and constructed to comply with all statutory and regulatory requirements including the current Building Control and Building regulations. All infrastructure shall be designed and delivered in compliance with DMURS (Design Manual for Urban Roads and Streets).
7. It will be the responsibility of the successful developer to design and construct the development to ensure that full compliance with planning permission and building regulations are achieved prior to handover of the CCC social units and sale of the residual affordable units to the market.

3 PROCUREMENT PROCESS

The procurement process ("Competition") will be set out as a two-stage process.

The purpose of this Stage 1 document is to set out the minimum suitability assessment requirements to shortlist suitable Applicants to proceed to Stage 2 tender.

It is envisaged that the top 5 scoring Applicants (subject to the quality & number of Suitability Assessment Questionnaires - SAQs received) who meet the minimum criteria and rules for selection will be invited to tender. Applicants who are selected for inclusion on the tender list will be issued a formal Stage 2 Invitation to Tender Document and will be asked to respond with a tender submission. Submissions received will be assessed on the basis of the rules, criteria and weightings set out in the Invitation to Tender Document in order to make an award decision.

It is envisaged that the contract will be awarded to the most economically advantageous tenderer following the Stage 2 tender process.

3.1 Application of Public Procurement Law:

This Competition is governed generally by public procurement law and in particular, EU Council Directive 2014/24/EC and the European Communities (Award of Public Authorities Contracts) Regulations 2016 (S.I. No. 284 of 2016).

Cork County Council is following the *restricted procedure* in accordance with the 2016 Regulations.

3.2 Costs

Neither Cork County Council nor its officers, employees, or advisers have any responsibility for Applicants' costs or losses in connection with this Competition; these shall be borne by each Applicant and shall be for its sole account, including if the Competition is abandoned or terminated without any award of Contract.

All costs and expenses incurred by Applicants relating to and including the engagement of design consultants, etc. are to be considered as work at risk and no recovery of any costs from Cork County Council will be entertained. Cork County Council has no financial liability prior to signing of the Contract. Applicants are strongly requested to consider this point and advised not to make a submission in response to the Invitation for Expressions of Interest ("Submission") if this condition is considered unacceptable.

3.3 No Contract

Cork County Council shall not be obliged to enter into a contract with any Applicant. Except for the Applicant's irrevocable offer to be bound by its Tender (Stage 2) for the validity period stated, no legal relationship or other obligation in relation to the development of any Scheme shall arise between the Applicant and Cork County Council unless and until the Contract which will be provided as part of Stage 2 of the Competition is formally executed in writing by Cork County Council and the successful Applicant (if any) and all conditions precedents to the effectiveness of any such Contract have been fulfilled.

3.4 Law and Jurisdiction

Irish law is applicable to this Competition. The Irish Courts shall have exclusive jurisdiction in relation to any disputes arising from this Competition.

4 INSTRUCTIONS TO APPLICANTS

4.1 Structure of the Competition

A contract notice was dispatched by Cork County Council and subsequently published in the Official Journal of the European Union inviting interested person(s) to make submissions in respect of any Schemes.

An indicative timetable for the conduct of the Competition is set out below. Applicants should note that these dates and times are subject to change at the discretion of Cork County Council.

Contract notice dispatched for publication	16th July 2026
Closing date for receipt of clarification requests from Applicants	12 hours (Noon) on 24th August 2026
Closing date and time for receipt of Submissions from Applicants	12 hours (Noon) on 31st August 2026
Stage 2 RFP issue (estimated)	Q4, 2026

4.2 Applicants Seeking Clarifications

All enquiries or requests for clarification by an Applicant should be submitted to the Council through Contact Point via the messaging facility on the e-Tenders website portal.

The e-Tenders Contact Point is the only point of communication that an Applicant should have with Cork County Council in connection with this Competition. No approach should be made by an Applicant (or any person associated with an Applicant) to any other employee, servant, agent or advisor to Cork County Council in connection with this Competition.

Verbal queries or requests for clarification will not be considered by Cork County Council. The Closing Date and Time for Clarifications to be made by Applicants is specified above in Section 4.1. Cork County Council will endeavour to respond to all reasonable enquiries and requests for clarification received on or by that date and time, but it does not undertake to respond to all queries/requests received.

All such queries and requests received, together with replies and clarifications on the points raised, may be circulated to all Applicants in a suitably anonymous form.

If an Applicant believes a query/request and/or its response relates to a confidential or commercially sensitive aspect of its business or proposals, it must mark the query/request as “confidential” or “commercially sensitive” (as the case may be) and provide a statement of the reasons why the query/request is considered to be confidential or commercially sensitive.

If Cork County Council, at its discretion, is satisfied that the query/request and/or its response should be properly regarded as confidential or commercially sensitive, the nature of the query/request and Cork County Council’s response thereto shall be kept confidential (subject to any applicable legal requirements including any duties or obligations arising under Freedom of Information Legislation).

If Cork County Council is of the opinion that it would be inappropriate to answer the query/request on a

confidential basis, it will notify the Applicant and require the Applicant to either withdraw the query or to raise any objection within 3 Business Days of such notification and state the grounds for its objection. If the Applicant does not withdraw the query/request or raise any objection within the specified period, or Cork County Council is of the opinion that, notwithstanding the objection of the Applicant, the query/request is not confidential or commercially sensitive, Cork County Council may issue the query/request and its response to all of the Applicants.

Cork County Council may seek clarification in respect of Submissions made by one or more Applicants during the Competition.

4.3 Delivery of Submissions:

If the Applicants wishes to participate in the Competition, its completed Submission including all attachments referred to therein must be submitted electronically in accordance with this Competition, no later than the Closing Time and Date.

Applicants Submissions must be submitted in Soft Copy via the electronic postbox facility available through the eTenders portal only in response to the Contract Notice. No other form of submission will be accepted by the Council.

Submissions must be submitted via the electronic postbox available on www.etenders.gov.ie. Only Submissions submitted to the electronic postbox will be accepted. Submissions submitted by fax or post/courier will NOT be accepted. Applicants must ensure that they give themselves sufficient time to upload and submit all required documentation before the Submission Deadline. Applicants should take into account the fact that upload speeds vary. There is a maximum of 4GB for the total (combined) documents sent to the electronic postbox. In order to submit a document to the electronic postbox, please note that you must click "Submit Response". After submitting you can still modify and re-send your response up until response deadline. Applicants should be aware that the 'Submit Response' button will be disabled automatically upon the expiration of the response deadline.

Submissions will not be opened by Cork County Council until after the Closing Date and Time.

4.4 Ambiguities

Applicants shall immediately notify Cork County Council should they become aware of any ambiguity, discrepancy, error or omission in the procurement opportunity under this Contract Notice and any accompanying documents. Cork County Council shall, upon receipt of such notification, notify all Applicants of its ruling in respect of any such ambiguity, discrepancy, error or omission. Such ruling shall be issued in writing and shall form part of the Competition documents.

4.5 Reliance on the Resources of Third Parties

Applicants may rely on the resources of third parties (e.g. parent companies or unrelated entities) in order to demonstrate their ability and capacity to perform the Contract.

In this case, Applicants must identify in their Submission which third parties are being relied upon and **must provide a letter of support** from the third party (on its headed notepaper) confirming that:

- (a) it will make its relevant resources available to the Applicant in the event that it is successful in this Competition and is awarded the Contract; and

(b) it will enter into a contractual commitment with Cork County Council or a guarantee in favour of Cork County Council in respect of such relevant resources prior to any Contract being entered into.

Applications by Consortium, Joint Venture or Partnership:

Where an Applicant is a Consortium, Joint Venture or Partnership, the expression of interest is filled out for each member of that Consortium, Joint Venture or Partnership as more particularly described in Sections 5 & 6 below.

For those who apply as a Consortium, are subsequently invited to tender as a Consortium, and the Consortium members have not set up together as a company (to be the legal entity which enters into the contract), one member of the Consortium must act as the lead member in submitting the tender. The part of the contract that each member of the Consortium will perform should be identified as part of the tender submission. If a Consortium tender is successful, and the members do not wish to register as a company, a contract will be awarded to the lead member. Only the lead member will be paid for the performance of the contract (as appropriate). In such a circumstance the Consortium must provide details of the formal arrangements in place between the members prior to the award of the contract.

For the purposes of this competition the term Applicant includes all members of a Consortium or Joint Venture or their parent companies.

4.6 Conflict of Interest

The onus is on the Applicants to ensure that no actual or potential conflict of interest arises.

The Council will regard as a conflict of interest any situation where an Applicant or a Consortium Member (or an adviser, sub-contractor, servant, agent, funder, contractor, or consultant to an Applicant or a consortium member) is also a member of another Consortium or an adviser, sub-contractor, servant, agent, funder, contractor or consultant to the Council and its professional advisers, or another Applicant or a consortium member in relation to the Project.

Any conflict of interest or potential conflict of interest must be fully disclosed in writing to the Council as soon as the conflict or potential conflict becomes apparent.

The Council recognises that an adviser, sub-contractor, consultant, funder, servant or agent to an Applicant or a consortium member may seek to participate in, advice or carry out work in relation to more than one bidding team for this Project. Any adviser, sub-contractor, consultant, funder, servant or agent seeking to participate on more than one bidding team, prior to agreeing to any involvement with another bidding team, must receive written approval from the Council permitting such involvement (including, inter alia, any conditions attached to such involvement). In order to assist the Council in determining whether a conflict of interest might arise, the adviser, sub-contractor, consultant, funder, servant or agent must provide full written details of its proposed participation. Following receipt of such information the Council will, in its absolute discretion, decide on the appropriate course of action.

Where a conflict or perceived conflict exists in relation to the personnel or work involved in the Development Agreement, especially by way of parties acting on behalf of more than one Applicant, the following information will be required:

- Name of the relevant party
- Function in Applicant/Submission
- Responsibilities
- Safeguards in place to avoid collusion

In addition, to the extent that the above entities are likely to be appraised of commercially sensitive information pertaining to aspects of the Applicants submissions in this process, please provide detailed explanations as to how it is envisaged that such information will be protected throughout each stage of the Competition.

Cork County Council will consider the information provided in response to the above and whether they are sufficient to alleviate the risk of collusion. Further, Cork County Council reserves the right to request evidence of the safeguards outlined above at any time throughout this process and to take a view on their sufficiency and/or to impose conditions in relation to such safeguards. Any evidence of collusion at any stage in the Competition will be reported to the Competition and Consumer Protection Commission and the Council notes its obligations under the Criminal Justice Act 2011 (as amended) in that regard.

In any event the Council consents to a party acting on behalf of more than one Applicant will under no circumstances will the same individuals be allowed to participate or advise more than one Applicant.

For the avoidance of doubt, the Council does not regard this Section as requiring automatically that relationships with funders be on an exclusive basis, with the exception noted in Section 6.5 'Developer Team Personnel and Experience' below.

4.7 Canvassing

If any Applicant (or a person associated with an Applicant), in connection with this Competition or the Contract, either:

- (a) canvasses or offers any inducement, fee or reward to any employee, servant or agent of Cork County Council or its professional advisors; or
- (b) does anything which would constitute a breach of the Prevention of Corruption Acts 1889 to 2010 or the Registration of Lobbying Act 2015; or
- (c) approaches any employee, servant or agent of Cork County Council or its professional advisors (except as authorised in these instructions), including for the purposes of soliciting the employment of any such persons or soliciting information about the Competition or the Contract,

that Applicant may be eliminated from the Competition, without prejudice to any other civil remedies available to Cork County Council and without prejudice to any criminal liability which such conduct may attract.

Applicants' attention is drawn to the Competition Acts 2002 to 2014, which makes it a criminal offence for

Applicants to collude on prices or terms in a public procurement competition.

4.8 Confidentiality

All documents issued and information given to the Applicants shall be treated by the Applicants as confidential. Applicants shall not release details of the documents other than on a confidential basis to those who have a legitimate need to know or whom they need to consult, for the purpose of preparing their Submissions.

Applicants shall not at any time release information concerning this Competition for publication in the press or on radio, television, screen or any other medium.

Cork County Council shall have the right to publicise, or otherwise disclose, to any third party, information] regarding the Competition, the Contract, the identity of Applicants (including details of their respective members, representatives, advisors, consultants, contractors, servants and/or agents), shortlisted or preferred Applicants, the Competition or the award of the Contract (including, without limitation, details of the contract price) at any time.

4.9 Data Protection

“Data Protection Laws” means all applicable national and EU data protection laws, regulations and guidelines including but not limited to Regulation (EU) 2016/679 on the protection of natural persons with regard to the processing of personal data and on the free movement of such data, and repealing Directive 95/46/EC (the “General Data Protection Regulation”), the Data Protection Act, 2018 and any guidelines and codes of practice issued by the Data Protection Commission or other supervisory authority for data protection in Ireland from time to time.

The Contracting Authority will be a Controller (where Controller has the meaning given under the Data Protection Laws) in respect of any Personal Data (where Personal Data has the meaning given under the Data Protection Laws) required to be provided by the Tenderer in response to this Request for Tender.

The Tenderer, as Controller in respect of any Personal Data provided by it in its Tender, is required to confirm by way of statement in the “Declarations” section of the accompanying Tender Response Document that all Data Subjects (where Data Subject has the meaning given under the Data Protection Laws) whose Personal Data is provided by the Tenderer have consented to the processing of such Personal Data by the Tenderer, the Contracting Authority, the Evaluation Team and the supplier of the etenders.gov.ie website, for the purposes of the participation of the Tenderer in this Competition or that the Tenderer otherwise has a legal basis for providing such Personal Data to the Contracting Authority for the purposes of its participation in this Competition.

Should any personal data (as defined in the Data Protection Legislation) be made available as part of the Competition, the Applicant will ensure it complies with the provisions of the Data Protection Legislation including, without limitation:

- (a) ensuring that it has in place an appropriate notification on the register maintained by the Information Commissioner (as defined in the Data Protection Legislation);
- (b) only processing such personal data in accordance with the instructions of Cork County Council;
- (c) ensuring it destroys all such personal data when it is no longer required for the purposes for which it was made available to the Applicant; and
- (d) taking all necessary organisational and technical measures to protect the personal data from unauthorised disclosure or from loss.

Applicants undertake to:

- (a) observe the policies of Cork County Council with respect to the security of any personal data used in connection with the Competition, should these be made known to them by Cork County Council; and
- (b) notify Cork County Council of any unauthorised use or disclosure of personal data made by the Applicant, its employees, servants or agents.

4.10 Applicants in Other Jurisdictions:

It is the responsibility of Applicants who are located in jurisdictions outside the Republic of Ireland to inform themselves about and observe all applicable legal requirements in this jurisdiction. The issue of this procurement competition may be restricted in certain jurisdictions. Such Applicants, in requesting the procurement competition, warrant and represent that they are able to receive it without breaching any restrictions in the jurisdiction in which they reside or conduct business.

4.11 Withdrawal:

Applicants are requested to inform Cork County Council by notice in writing to the e-Tenders Contact Point if at any stage they decide to withdraw from the Competition.

5 FORMAT OF SUBMISSIONS

5.1 Change in Information

If, as a result of a change in circumstances or otherwise, any information given by an Applicant to Cork County Council, in a Submission or otherwise, was (when submitted) or has become (by reference to the facts as they then stand) untrue, incomplete or misleading, the Applicant must so inform Cork County Council as soon as it becomes aware of this. This includes but is not limited to when an Applicant becomes aware that the Applicant may cease to be eligible for the Contract for the reasons set out in Form 3 (Bona Fide Submission) and/or Form 5 (Eligibility) in **Appendix 1**.

If it comes to the attention of Cork County Council that:

- (a) there has been a change in circumstances concerning an Applicant that could affect Cork County Council's assessment of that Applicant's Submission or Cork County Council's decision to open that Applicant's Submission; or
- (b) information submitted by an Applicant was (when submitted) or has become (by reference to the facts as they then stand) untrue, incomplete or misleading

Cork County Council may (but is not required to) revise their assessment of the Applicant's Submission on the basis of the information then available to Cork County Council.

5.2 Format of Submissions

Applicants Submissions must be submitted in Softcopy via the electronic postbox facility available through the Contract Notice on www.eTenders.gov.ie only.

Hard Copy submissions returned by fax, post/courier or other means will not be accepted.

All softcopy documents shall be clearly labelled with the Content and the Name of Applicant.

The Applicant's contact details and address must be included within the Submission.

Cork County Council's decision as to whether or not an Applicant has complied with the requirements of this

procurement competition shall be final and binding.

5.2.1 Part 1 of Submission - Minimum Requirements, Forms & Declarations (Pass/Fail)

In Part 1 of the Submission, Applicants must confirm that they meet all of the following minimum requirements and demonstrate that they have the ability and capacity to perform the Contract. The Minimum Requirements are set out below and in Section 6.1.

Applicants must also complete and return all of the forms and declarations set out in **Appendix 1**:

- Form 1 – Applicant Cover Letter Template
- Form 2 – Applicant's Information
- Form 3 – Bona Fide Submission
- Form 4 – Conflicts of Interest
- Form 5 – Eligibility

- Form 6 – Data Sharing Agreement Form
- Form 7 – Data Protection Statement
- Form 8 – Declaration in relation to Financial & Economic Standing

If any form or declaration is not completed or is not completed to the satisfaction of Cork County Council, the Applicant may be eliminated from the Competition without Part 2 of its Submission being opened or evaluated.

An Applicant shall be eliminated from the Competition if any of the grounds for elimination in Section 1 of Form 5 (Eligibility) apply to the Applicant.

An Applicant may be eliminated from the Competition if any of the grounds for elimination in Section 2 of Form 5 (Eligibility) apply to the Applicant.

Applications by Consortium, Joint Venture or Partnership:

Where an Applicant is a Consortium, Joint Venture or Partnership, Part 1 of the expression of interest is filled out for each member of that Consortium, Joint Venture or Partnership and submitted as a single application. These expressions of interest are then evaluated and marked as a single application. All submissions are taken into account and evaluated initially on a pass/fail basis as if the information was submitted in one single expression of interest. Those Applicants that pass the initial evaluation stage (Part 1) will have their expressions of interest qualitatively assessed (Part 2), marked as a single application and may be successful in being short-listed.

5.2.2 Part 2 of Submission – Response to Qualitative Criteria and minimum Pass/Fail requirements for the Developer and the Developer’s Team

In Part 2 of the Submission, the Applicant’s response in demonstrating that they have the ability and capacity to perform the Contract will be assessed in terms of the Qualitative Criteria set out below in Section 6.2.

6 SELECTION CRITERIA

6.1 Minimum Requirements, Forms & Declarations (Pass/Fail)

Where an Applicant is a Consortium, Joint Venture or Partnership, each member of that Consortium, Joint Venture or Partnership must submit a response to Part 1 of the expression of interest and submit as a single application. All members of a Consortium, Joint Venture or Partnership must individually satisfy all requirements within Part 1, unless otherwise stated. One member a Consortium must be identified as the lead member.

The Minimum Requirements are set out below:

6.1.1 Tax Clearance:

Applicants are required to provide with their Submissions evidence of a valid tax clearance certificate from the Irish Revenue Commissioners, or in the case of a non-resident, a statement from the Revenue Commissioners in Ireland confirming suitability on tax grounds.

Alternatively, Applicants may give Cork County Council permission to check their tax clearance status by quoting their Revenue customer number and tax clearance certificate number.

Where an Applicant does not have and cannot produce a valid tax clearance certificate or a statement from the Revenue at the time of making its Submission, confirmation of submission of the application for a tax clearance certificate/statement from the Applicant's auditor or a form of acknowledgement of receipt of the application for tax clearance certification from the Irish Revenue Commissioners must be produced with the Submission. A valid tax clearance certificate must be produced by a successful Applicant before execution of any Contract.

6.1.2 Relevant Insurances:

Applicants are required to provide confirmation with their submissions that they have insurances to the required levels as indicated below. Applicants are also required to confirm that each of their professional team members and material sub-contractors have and shall maintain the Professional Indemnity insurances required below, as per the requirements of the Development Agreement:

Insurance	Indemnity Limit
Employers Liability	• €13,000,000
Public Liability	• €6,500,000
Professional Indemnity*	• €6,500,000 <i>Including each Professional Team member and any Material Sub-contractor</i>
Contractor All Risks	Covering any loss or damage to any part or parts of the Project in standard form for the full reinstatement value of the Project under construction plus a reasonable allowance to cover for the cost of inflation during any period of rebuilding or reinstatement and to also include for appropriate percentages for professional fees and the costs of site clearance in respect of the Works

* Note the following in relation to Professional Indemnity Insurance:

The evidence required to pass this criterion is to be evidence from an insurance provider authorised to issue non-life insurance or from an authorised insurance advisor confirming that Professional Indemnity Insurance (PII) meeting the requirements set out below is in place.

Developer is to include for Minimum level of Professional Indemnity Insurance required for Works Contractor and as PSCS of €6.5million. The Developer's Team is to include for Minimum level of Professional Indemnity Insurance required of €6.5million. Professional Indemnity Insurance cover must also include:

- (i) Maximum permissible excess on Professional Indemnity Insurance in any one claim below which the Developer will bear the cost: € 50,000 or 1.5% of turnover whichever is greater;
- (ii) Cover provided on an 'annual aggregate claim' basis;
- (iii) Cover is provided for legal defence costs in excess of the minimum level of cover
- (iv) The conditions provide for claims for breach of professional duty or civil liability as well as negligence;
- (v) Cover extends to include claims arising out of the sub-contracting of professional services by the applicant;
- (vi) Cover is provided in respect of Joint & Several liability where the Applicant is operating in a Joint Venture or a Consortium;
- (vii) The level of excess is capped at €150,000 in any one year regardless of the number of claims;
- (viii) The jurisdiction in which claims can be lodged and settled is IRELAND.

Where an Applicant is a Consortium, Joint Venture or Partnership, at least one member must achieve the Minimum level of Professional Indemnity Insurance as noted above. All other parties are required to hold a Minimum level of Professional Indemnity Insurance of €1.5million, including the cover items listed (i) to (viii) above.

6.1.3 Financial and Economic Standing:

Applicants must demonstrate that they are of sufficient financial standing to perform the Contract by providing the following:

- Declaration from Applicant in relation to Financial and Economic Standing – as per Form 8 at Appendix 1;
- Evidence of annual turnover in each of the last 3 years. It must demonstrate average annual turnover of €10m in each of the last three financial years;
- A letter of good standing from the Applicant's banker dated within last 3 months;

Prior to appointment it will be required for the Applicant to provide audited accounts for the last three financial years within 7 days upon the request of the Council.

Where an Applicant is a Consortium, Joint Venture or Partnership, the lead member must have an average annual turnover of €8m in each of the last 3 years and all other parties must have an average annual turnover of €5m in each of the last 3 years.

6.1.4 Bona Fide Submission

Applicants are required to provide with their Submissions their Bona Fide confirmation, as per Form 3 at Appendix 1, in respect of, but not limited to, the following:

- (a) Communicated to a person other than Cork County Council the amount or approximate amount of any pricing in our Submission, except where the disclosure, in confidence, of such

pricing was necessary to obtain insurance premium quotations required for the preparation thereof;

- (b) Enter into any agreement or arrangement with any other person that he shall refrain from competing or as to the amount or pricing to be submitted; and
- (c) Offered or paid or given or agreed to pay or give any sum of money or valuable consideration directly or indirectly to any person for doing or having done or causing or having caused to be done in relation to any other submissions for the said work any act or thing of the sort described above.

6.1.5 Other Forms & Declarations

Applicants must also complete and return all of the forms and declarations set out in **Appendix 1**:

- Form 1 – Applicant Cover Letter Template
- Form 2 – Applicant’s Information
- Form 3 – Bona Fide Submission
- Form 4 – Conflicts of Interest
- Form 5 – Eligibility
- Form 6 – Data Sharing Agreement Form
- Form 7 – Data Protection Statement
- Form 8 – Declaration in relation to Financial & Economic Standing

If any form or declaration is not completed or is not completed to the satisfaction of Cork County Council, the Applicant may be eliminated from the Competition without Part 2 of its Submission being opened or evaluated.

6.2 Technical and Professional Ability

Where an Applicant provides the Minimum Requirements of Cork County Council, including forms and declarations in Part 1 of the Submission in a manner satisfactory to Cork County Council, that Applicant shall proceed to have Part 2 of its Submission evaluated and scored in accordance with the following assessment Criteria:

Entity	Criteria	Total Marks
Developer Structure	6.3 - Developer's Proposed Project (organisational) Structure	50
Developer	6.4.1 - Developer Personnel CVs	250
	6.4.2 - Environmental, Health & Safety Manager	Pass/Fail
	6.4.3 - Developer Previous completed projects	350
Developer Team	6.5.1 - Design Lead, Architect - Personnel	50
	6.5.2 - Design Lead, Architect - Previous completed projects	150
	6.5.3 - Civil & Structural Engineer - Personnel	50
	6.5.4 - Civil & Structural Engineer - Previous completed projects	50
	6.5.5 - Assigned Certifier - Personnel including demonstration of experience on similar projects	50
	6.5.6 - PSDP - Personnel	Pass/Fail

The Applicant must demonstrate that it has sufficient technical and professional ability to perform the Contract by providing the following information.

The specific requirements of the Applicant's Technical and Professional Ability are outlined below in Sections 6.3, 6.4 and 6.5.

6.3 Developer's Proposed Structure

(Maximum 2 A4 pages for narrative; Maximum of 50 Marks available for this Criterion)

Applicants must demonstrate their proposed project (organisational) structure chart to clearly identify the parties proposed and their intended role for delivering the project requirements. The chart is to be accompanied with a narrative to illustrate the proposed structure.

The chart must identify the proposed estate agent (or other similar independent party) who will be responsible, on behalf of the Developer, for management of scheme sales and marketing.

Where an Applicant is a Consortium, Joint Venture or Partnership, one member of the Consortium must act as the lead member.

6.4 Developer Personnel and Experience

6.4.1 Developer Personnel

(3 No. Curriculum Vitae, maximum 2 A4 pages each; Maximum of 250 Marks available for this Criterion)

Applicants must demonstrate that they possess suitably qualified and experienced management staff to undertake this project, have the necessary experience of delivering projects of similar nature, scale & complexity with relevant experience of multi-unit housing developments in excess of 30 units at a single location.

As a minimum requirement, Applicants are to propose (i) Developer Lead (ii) Construction Lead and (iii) Commercial / Sales Manager personnel. Applicants must achieve a minimum score of 40% of the available marks or higher under this Criterion for each of (i), (ii) and (iii). The same person cannot be nominated to fulfil any more than a single role.

(i) **Developer Lead** (Maximum 100 Marks available)

The person nominated in the role of Developer Lead shall have a background and experience in residential development relevant to projects of a similar scale and complexity. The Developer Lead shall be responsible for delivery of the overall project/model and will be the single point of contact in communications with regard to the Development Agreement. He/she shall have a minimum of ten (10) years' experience or greater in a development management role.

This may be demonstrated through the following:

- a. relevant experience on residential developer delivery projects (of a similar scale and complexity)
- b. educational, professional qualifications to compliment developer delivery
- c. Experience in dealing with funders, Clients, and main stakeholders in relation to development projects

Marks will be awarded for demonstration of experience with previous schemes directly comparable to the proposed project in terms of size, complexity and nature.

(ii) **Construction Lead** (Maximum 100 Marks available)

The person nominated in the role of Construction Lead shall have training and experience in both Building Construction and in Health & Safety, relevant to projects of a similar scale and complexity. The Construction Lead shall be responsible for delivery of the project and shall have a minimum of ten (10) years' experience or greater in a management role.

This may be demonstrated through the following:

- a. relevant experience on residential construction projects (of a similar scale and complexity)
- b. educational, professional qualifications and project management skills
- c. Safety and health qualifications and training (e.g. degree, diploma, certificate, managing safety in construction, continual professional development)
- d. Experience in working with and managing other Contractors/sub-contractors

Marks will be awarded for demonstration of experience with previous schemes directly comparable to the proposed project in terms of size, complexity and nature, including infrastructural elements.

(iii) **Commercial / Sales Manager** (Maximum 50 Marks available)

The person nominated in the role of Commercial / Sales Manager shall have training and experience of market engagement and residential unit sales. The training and experience required shall be in residential sales and marketing on schemes of a similar scale & complexity. The Commercial / Sales Manager shall have a minimum of ten (10) years' experience or greater. If such expertise is not available in-house, the Applicant should be capable of demonstrating prior experience of working with the nominated commercial/sales personnel.

This may be demonstrated through the following:

- a. relevant experience on residential projects (of a similar scale and complexity), market engagement and residential unit sales
- b. educational, professional qualifications and project management skills
- c. qualifications, continual professional development (CPD) and training

Marks will be awarded for demonstration of experience with previous schemes directly comparable to the proposed project in terms of size, complexity and nature, including infrastructural elements.

6.4.2 Environmental, Health & Safety Manager

(1 No. Curriculum Vitae, maximum 2 A4 pages each; Pass / Fail requirement)

Applicants must demonstrate that they possess suitably qualified and experienced Environmental, Health & Safety Manager to undertake this project.

As a minimum requirement, Applicants are to propose an Environmental, Health & Safety Manager personnel which will be scored on a Pass/Fail basis.

The person nominated in the role of Environmental, Health & Safety Manager shall have training and experience in both Building Construction and in Health & Safety, relevant to projects of a similar scale and complexity. The Environmental, Health & Safety Manager shall have a minimum of seven (7) years' experience or greater in the Building Trade and must have formal externally accredited training in Health and within the last five (5) years.

This may be demonstrated through the following:

- a. relevant experience on construction projects (of a similar scale and complexity)
- b. educational, professional qualifications and project management skills
- c. Safety and health qualifications and training (e.g. degree, diploma, certificate, managing safety in construction, continual professional development)
- d. Experience in working with and managing other Contractors/sub-contractors

6.4.3 Developer Experience / Works Carried out over the past 7 years

(3 No. projects, maximum 5 A4 pages each; Maximum of 350 Marks available for this Criterion)

As a minimum requirement, applicants must achieve a minimum score of 40% of the available marks or higher under this Criterion.

Evidence of developing and completing three (3 No.) residential schemes similar to that in scale and nature

to the Residential Units at the proposed site, which the Applicant has undertaken in the last seven (7) years. The following will apply in respect of this section submission.

- Each of the 3 projects must exceed a value of €5m Exc. VAT.
- At least 1 of the 3 projects must exceed 20 units in total.
- 2 of the projects must include delivery of a minimum of 10 apartments/duplexes per scheme.

Responses should include the following information for each such scheme:

Name & Address of the Development, and name of Client
Design Team and Specialist Consultants engaged for the Development
Total number of housing units and type of units (i.e. house types, apartments etc.)
Details of infrastructural elements
Details of the landscaping & public green spaces
Type of Contract utilised and the value of the Contract
Project Funding and marketing arrangements
Photographs of the finished units including landscaping & public open spaces
Construction start & completion dates
BER Rating achieved
Applicants should demonstrate how defects were managed during the course of the project construction stage and the defects period

Marks will be awarded for demonstration of experience with previous schemes directly comparable to the proposed project in terms of size, complexity and nature, including infrastructural and landscaping elements. Higher marks, not exceeding the maximum marks available for this section, will also be awarded to completed projects demonstrating experience of sales to the private market.

6.5 Developer Team Personnel and Experience

As a minimum requirement, Applicants are to propose Design Team Lead Architect, Civil & Structural Engineer, Assigned Certifier and PSDP personnel. Applicants must achieve a minimum score of 40% of the available marks or higher under this Criterion. PSDP personnel will be assessed on a Pass/Fail basis.

6.5.1 Design Team Lead Architect - Personnel

(1 No. Curriculum Vitae, maximum 2 A4 pages; Maximum 50 Marks available)

NOTE: Applicants are to receive an exclusivity confirmation from their proposed Design Team Lead Architect / associated Architectural firm, confirming that they are not submitting a response with other Developer Applicants in this competition.

The person nominated in the role of Design Team Lead Architect shall have training and experience Architectural services required during design and construction phases in multi-unit housing development projects of a similar scale and complexity in excess of 25 units at a single location. The Design Team Lead Architect shall be responsible for coordination of all design, including overall responsibility for sub-consultants, and shall have a minimum of ten (10) years' experience or greater.

This may be demonstrated through the following:

- a. relevant experience on residential construction projects (of a similar scale and complexity)
- b. educational, professional qualifications and project management skills
- c. design team lead and coordination experience and expertise
- d. Safety and health qualifications and training
- e. Experience in working with and managing other Contractors/sub-contractors

Marks will be awarded for demonstration of experience with previous schemes directly comparable to the proposed project in terms of size, complexity and nature, including infrastructural elements.

6.5.2 Design Team Lead Architect - Experience / Services Carried out over the past 7 years

(3 No. projects, maximum 4 A4 pages each; Maximum of 150 Marks available for this Criterion)

Evidence of developing and completing three (3 No.) residential schemes similar to that in scale and nature to the Residential Units at the proposed site (i.e. a multi-unit development in excess of 30 units at a single location housing developments), which the Applicant has undertaken in the last seven (7) years, in a design lead role. A minimum of 2 of the projects must be completed. Responses should include the following information for each such scheme:

Name & Address of the Development, and name of Client
Design Team and Specialist Consultants engaged for the Development
Total number of housing units and type of units (i.e. house types, apartments etc.)
Details of infrastructural elements
Details of the landscaping & public green spaces
Type of Contract utilised and the value of the Contract
Photographs of the finished units including landscaping and public open spaces
Construction start & completion dates
BER Rating achieved
Services provided throughout the project (including, but not limited to, design, construction, handover and defects period stages.

Marks will be awarded for demonstration of experience with previous schemes directly comparable to the

proposed project in terms of size, complexity and nature, including infrastructural elements.

6.5.3 Civil & Structural Engineer - Personnel

(1 No. Curriculum Vitae, maximum 2 A4 pages; Maximum 50 Marks available)

The person nominated in the role of Civil & Structural Engineer shall have training and experience in engineering services required during design and construction phases in multi-unit housing development projects of a similar scale and complexity in excess of 25 units at a single location. The Civil & Structural Engineer shall be responsible for all aspects of Civil & Structural Engineer design, including overall responsibility for sub-consultants, and shall have a minimum of ten (10) years' experience or greater.

This may be demonstrated through the following:

- a. relevant experience on similar construction projects (of a similar scale and complexity)
- b. educational, professional qualifications and project management skills
- c. civil & structural engineering experience and expertise
- d. environmental and Safety & Health qualifications and training
- e. Experience in working with and managing other Contractors/sub-contractors

Marks will be awarded for demonstration of experience with previous schemes directly comparable to the proposed project in terms of size, complexity and nature, including infrastructural elements.

6.5.4 Civil & Structural Engineer - Previous completed projects

(2 No. projects, maximum 4 A4 pages each; Maximum of 50 Marks available for this Criterion)

Evidence of developing and completing two (2 No.) residential schemes similar to that in scale and nature to the Residential Units at the proposed site (i.e. a multi-unit development in excess of 30 units at a single location housing developments), which the Applicant has undertaken in the last seven (7) years, in a design lead role. A minimum of 2 of the projects must be complete from a structural perspective. Responses should include the following information for each such scheme:

Name & Address of the Development, and name of Client
Design Team and Specialist Consultants engaged for the Development
Total number of housing units and type of units (i.e. house types, apartments etc.)
Details of infrastructural elements
Type of Contract utilised and the value of the Contract
Photographs of the finished units
Construction start & completion dates
BER Rating achieved
Services provided throughout the project (including, but not limited to, design, construction, hand-over and defects period stages.

Marks will be awarded for demonstration of experience with previous schemes directly comparable to the proposed project in terms of size, complexity and nature, including infrastructural elements.

6.5.5 Assigned Certifier - Personnel including demonstration of experience on similar projects

(1 No. Curriculum Vitae, maximum 3 A4 pages; Maximum 50 Marks available)

The person nominated in the role of Assigned Certifier shall have training and experience of relevance to Assigned Certifier services and projects of a similar scale and complexity. The Assigned Certifier shall

be a registered professional responsible for Certification, coordination of all Ancillary Certification, and shall have a minimum of ten (10) years' experience in construction design or greater.

This may be demonstrated through the following:

- a. relevant experience on similar construction projects (of a similar scale and complexity)
- b. educational, professional qualifications and project management skills
- c. experience and expertise in relation to delivery of Assigned Certifier services
- d. Safety and health qualifications and training
- e. Experience in working with and managing other contractors/ancillary certifiers
- f. Demonstration of experience on three (3 No.) similar residential projects in the last seven years, as noted below;

The Assigned Certifier must provide evidence to demonstrate their experience with delivering assigned certifier services and completion certification on three (3 No.) residential schemes similar to that in scale and nature to the Residential Units at the proposed site, in the last seven (7) years. Responses should include the following information for each such scheme:

Name & Address of the Development, and name of Client
Design Team and Specialist Consultants engaged for the Development
Total number of housing units and type of units (i.e. house types, apartments etc.)
Details of infrastructural elements
Type of Contract utilised and the value of the Contract
Photographs of the finished units
Construction start & completion dates
BER Rating achieved
Services provided throughout the project (including, but not limited to, commencement, construction, inspections and final certification/handover stages.

Marks will be awarded for demonstration of experience with previous schemes directly comparable to the proposed project in terms of size, complexity and nature, including infrastructural elements.

6.5.6 PSDP - personnel

(1 No. Curriculum Vitae, maximum 2 A4 pages each; Pass / Fail requirement)

Applicants must propose a suitably qualified and experienced PSDP (Project Supervisor for the Design Process) to undertake this project.

As a minimum requirement, Applicants are to propose a PSDP personnel which will be scored on a Pass/Fail basis.

The person nominated in the role of PSDP shall have training and experience in delivery of Project Supervisor

/ PSDP services during projects of a similar scale and complexity. PSDP must be competent in Health & Safety providing advice to the client & project team as necessary. The PSDP shall have a minimum of seven (7) years' experience or greater in the Building Trade and must have formal externally accredited training in Health and Safety within the last five (5) years.

This may be demonstrated through the following:

- e. relevant experience on similar construction projects (of a similar scale and complexity)
- f. educational, professional qualifications and project management skills

- g. Safety and health qualifications and training (e.g. degree, diploma, certificate, managing safety in construction, continual professional development)
- h. Experience in working with and managing other Contractors/design consultants/sub-contractors

6.6 Qualitative Criteria Scoring methodology

Any Applicant which fails to meet the above Minimum Requirements shall be eliminated from the Competition.

This information will be evaluated and scored in accordance with the following scoring matrix:

Score (0-10)	Indicator
0-4	Response which may be unacceptable to the Council, no response at all or insufficient information provided in the response such that the response is unquantifiable and/or incomprehensible. Previous project experience bears little or no similarity/comparability to the proposed Scheme and/or reflects very poor experience.
5-7	An acceptable response demonstrating a minimum understanding offering assurance to the Council – satisfactorily supported. Previous project experience bears some similarity/ comparability to the proposed Scheme and/or reflects reasonable experience.
8-9	A very good response demonstrating very good understanding offering assurance to the Council – strongly supported. Previous project experience bears some similarity/ comparability to the proposed Scheme and/or reflects good experience.
10	An outstanding response demonstrating extensive understanding offering full assurance to the Council – fully supported with no reservations. Previous project experience is similar/comparable to the proposed Scheme and/or reflects excellent experience.

If an Applicant is relying on the technical resources or capacity of a parent company or a third party to demonstrate that it has the necessary technical and professional ability to perform the Contract, this must be indicated and the relevant information must be provided in respect of that parent or third party. That parent or third party must also provide a **letter of support** indicating:

- (a) that it will make its technical resources available to the Applicant in the event that it is successful in this Competition and is awarded the Contract;
- (b) that it will enter into a contractual commitment with Cork County Council or a guarantee in favour of Cork County Council in respect of such technical resources prior to any Contract being entered into.

Appendix 1
Forms &
Declarations

Appendix 1

Forms To Be Completed and Submitted

The forms contained in this Appendix must be completed in full and returned by Applicants.

- | | |
|---|-------------------|
| 1. Applicant Cover Letter | (Sign and return) |
| 2. Applicants Information | (Sign and return) |
| 3. Bona Fide Submission | (Sign and return) |
| 4. Conflicts of Interest | (Sign and return) |
| 5. Eligibility | (Sign and return) |
| 6. Data Sharing Agreement Form | (Sign and return) |
| 7. Data Protection Statement | (Sign and return) |
| 8. Declaration in relation to Financial & Economic Standing | (Sign and return) |

FORM 1 - APPLICANTS'S STATEMENT

[to be completed by the Applicant on its headed notepaper]

To: Cork County Council

Re: Documents for this Procurement Competition for Social affordable residential units at Beechgrove Clonakilty

Having examined your Invitation for Expression of Interest, we hereby include our Submission and agree and declare the following on or own behalf (and where we are a Group, on behalf of all members of our Group):

We understand the nature and extent of the Works required to be provided under the Contract, and the risks associated therewith, and we have carried out all necessary due diligence in relation to same.

We confirm that we have made our Submission in accordance with the instructions set out in the Invitation for Expression of Interest.

We understand that Cork County Council does not bind itself to accept the lowest or any Submission made in response to the documents for this procurement competition.

We understand Cork County Council reserves the right to discontinue the award procedure in the event of irregular Submissions or in the absence of appropriate Submissions and in such circumstances it may use the negotiated procedure without a further call for competition.

We warrant and represent that we have all the requisite corporate authority to make this Submission.

We undertake to ensure that all appropriate technical and organisational resources shall be taken to prevent the unauthorised or unlawful processing of personal data and to prevent accidental loss or damage or destruction of personal data entrusted to us in the course of the Competition.

If applicable, we enclose with this Statement any relevant letters of support from parent companies or third parties whose resources we intend to rely on in order to perform the Contract. These letters confirm that any such third party:

- (a) will make its relevant resources available to the Applicant in the event that the Applicant is successful in this Competition and is awarded the Contract; and
- (b) it will enter into a contractual commitment with Cork County Council or a guarantee in favour of Cork County Council in respect of such relevant resources at the same time as any Contract is entered into with the Applicant

We acknowledge that the documents for this Competition do not constitute an offer to enter into a contract and should not be regarded as a commitment or representation on the part of Cork County Council to enter into a contractual arrangement. No commitment of any kind, contractual or otherwise, binding Cork County Council shall exist unless and until a formal written contract is executed by or on behalf of Cork County Council. We understand that Cork County Council may, at its absolute discretion, terminate this Competition at any time prior to a formal written contract being executed on behalf of Cork County Council.

Our Professional Team members are as follows:

[insert]

The following Professional Team member(s) will certify compliance with building regulations and planning permission:

[insert]

Our construction management team is as follows:

[insert]

Capitalised terms in this letter have the meaning given to them in the documents for this procurement competition.

Dated this day of 2026

Signed by or on behalf of the Applicant:

Print Name of Signatory:

Name of Applicant³:

Registered Address:

³ FULL NAME of Applicant In the case of a partnership insert FULL NAMES of ALL the partners.

FORM 2 - CORPORATE INFORMATION

[to be completed by the Applicant]

Applicant (or lead entity only in case of Group)

Full Name	
Address	
Previous Name(s) if applicable	
Registered Address if different	
Registration Number (if applicable)	
Telephone	
Fax	
Contact Name & Details	
E-mail address:	
Website address	
Year Established	
Legal Form (Tick One)	☐ Company ☐ Joint Venture ☐ Partnership ☐ Other (specify)
VAT Registration Number (if applicable)	
Directors' names and titles	
Parent Company	
Ownership (Ultimate Beneficial)	

Applicant's authorised representative (or lead member's representative in case of Group)

Name:	
Contact Name & Details:	
Address:	
Telephone:	
Facsimile:	
Email Address:	

Group Members (if applicable)

We, the other members of the Applicant's Group, confirm that the Applicant's authorised representative named above is authorised to act on behalf of the Applicant and as the principal contact for the Applicant in dealings with the Authority. (If not applicable, state 'n/a').

Group Member	Name and Title	Signature

Status of Applicant

Please confirm whether the Applicant is a single bidder, a partnership, a Group or other type of joint venture.

Single Bidder	☐	Partnership	☐
Group	☐	Other Type of Joint Venture	☐
If other type of joint venture, please specify:			

If the Applicant is not a single bidder, the Applicant's authorised representative should provide details of the structure proposed by means of an organisational chart. Where available, please provide a copy of any agreement evidencing the relationship between the Applicant, and/or any team members.

Proposed legal form

Is the Applicant already a limited company or is it intended that it will (if successful in the Competition) be incorporated?

Already a Limited Company	☐	Will be Incorporated	☐
		Will not be Incorporated	☐

If the Applicant is already incorporated, please provide the following information:

Registered Number:	
Year of Incorporation:	
Issued Share Capital:	
Place of Registration:	

Certified up to date copy of Memorandum of Association / Association Foundation Deed (or similar)	
VAT Registration Number (if applicable)	
Directors names and title:	
Parent Company:	
Ownership (Ultimate Beneficial)	

Group Members (if applicable)

If the Applicant is a Group then for each of the Group members, please provide the following information.
(If not applicable, state 'n/a').

Full Name:	
Address:	
Previous Name(s) if applicable	
Registered Address, if different	
Telephone:	
Fax:	
Contact Name & Details:	
E-mail Address:	
Website address:	
Year Established:	
Legal Form (Tick one)	☐ Company ☐ Joint Venture ☐ Partnership ☐ Other (specify)
VAT Registration Number (if applicable)	
Directors Names and Titles	

Parent Company:	
Ownership (Ultimate Beneficial)	
Position in Grouping (Specify role to be carried out by Team Member)	

FORM 3 - BONA FIDE SUBMISSIONS

[to be completed by the Applicant]

The essence of competing for the above response is that the client (Cork County Council), shall receive bona fide competitive Applicants from all firms competing. In recognition of this principle, we certify that we are submitting a bona fide submission which is intended to be competitive and we have not fixed or adjusted any amount specified in our Submission by or under or in accordance with any agreement or arrangements with any other person.

We also certify that we have not:

- (a) Communicated to a person other than Cork County Council the amount or approximate amount of any pricing in our Submission, except where the disclosure, in confidence, of such pricing was necessary to obtain insurance premium quotations required for the preparation thereof;
- (b) enter into any agreement or arrangement with any other person that he shall refrain from competing or as to the amount or pricing to besubmitted; and
- (c) offered or paid or given or agreed to pay or give any sum of money or valuable consideration directly or indirectly to any person for doing or having done or causing or having caused to be done in relation to any other submissions for the said work any act or thing of the sort described above.

We undertake that we will not do any of the acts mentioned in sections (a), (b) or above at any time before the acceptance or rejection of our Submission.

In this certificate, the word "person" includes any persons and anybody or association, corporate or unincorporated and "any agreement or arrangement" includes any such transaction, formal or informal and whether legally binding or not.

Signed by or on behalf of the Applicant
(and the Applicant's Group, if applicable):

Printed:

Name of Applicant⁴:

⁴ Please insert the FULL NAME of the Applicant, or in the case of a partnership the FULL NAMES of ALL the partners.

FORM 4 - CONFLICT OF INTEREST

[to be completed by the Applicant]

With reference to Section 4.6 (Conflict of Interest) of the documents for this procurement competition, please complete where appropriate.

We warrant that: -

1. There **would be no** conflict of interest in relation to the personnel or type of work involved in the Applicant Contract.

☐ No Conflict

2. There **could be** a possible conflict of interest in relation to **[enter the name(s) of the individual(s) concerned]** and their involvement in the Applicant Contract.

☐ Possible Conflict

3. Please explain what the possible conflict or perceived conflict of interest may be and who it relates to and how it could have an adverse effect on the Applicant Contract(s).

Any registrable interest involving the Applicant's or any sub-contractors and any of the members of the board of Cork County Council, members of the Government, members of the Oireachtas, or employees or officers of Cork County Council or their relatives must be fully disclosed.

The terms 'registrable interest' and 'relative' shall be interpreted as per Section 2 and Schedule 2 of the Ethics in Public Office Act 1995 a copy of which is available to download at www.finance.gov.ie.

We wish to notify Cork County Council of the following registrable interests:

Signed by or on behalf of Applicant⁵
(and the Applicant's Group, if applicable):

Printed:

Name of Applicant:

Registered Address:

⁵ Please insert the FULL NAME of the Applicant, or in the case of a partnership the FULL NAMES of ALL the partners.

FORM 5 - ELIGIBILITY

[to be completed by the Applicant]

Section 1

Applicant's will be automatically excluded from the Competition if, to the knowledge of Cork County Council, the Applicant (or any member of an Applicant's Group) has been convicted of an offence involving the:

- (a) participation in a prescribed criminal organisation;
- (b) corruption;
- (c) fraud;
- (d) money laundering; or
- (e) any other offence within the meaning of Article 45(1) of Directive EU/2004/18 as defined by the national law of any relevant State.

Are any of the conditions referred to in sub-paragraphs (a) to (e) above applicable to the Applicant or any Group member? (Please tick relevant box).

YES	NO

If "yes" please give details.

--

Section 2

In addition, Applicant's *may* be automatically excluded from the Competition where any of the conditions in sub-paragraphs (a) to (g) inclusive below apply to the Applicant or any of its Group members:

- (a) they are subject to any of the following bankruptcy or insolvency procedures:
 - (i) the person is bankrupt or the subject of a bankruptcy petition
 - (ii) the person, being a body corporate, is being wound up or the subject of proceedings for compulsory winding up, or
 - (iii) the person's affairs are being administered by a court, or the person is the subject of proceedings in which it is sought to have the person's affairs so administered or
 - (iv) the person has entered into an arrangement with creditors, or
 - (v) the person has suspended business activities, or
 - (vi) the person is, in the opinion of Cork County Council concerned, in any situation analogous to any of those mentioned in subparagraphs (i) to (v) under a law of the State, another Member State or a third country relating to bankruptcy or insolvency.
- (b) they have been found guilty of professional misconduct by a competent authority that is authorised by law to hear and determine allegations of professional misconduct against persons that include the operator; or
- (c) they have committed grave professional misconduct provable by means that the authority can demonstrate;
- (d) they have not fulfilled an obligation to pay a social security contribution as required by a law of the country or territory—
 - (i) where the person ordinarily resides or carries on business, or
 - (ii) where the authority is established, or
- (e) they have not fulfilled an obligation to pay a tax or levy imposed by or under a law of the country or territory—
 - (i) where the person ordinarily resides or carries on business, or
- (f) where the authority is established, or they have provided a statement or information to the authority or another contracting authority knowing it to be false or misleading, or has failed to provide to the authority or another such authority a statement or information that is reasonably required by the authority for the purpose of awarding the public contract concerned;
- (g) they are subject to any other ground stated in Article 45(2) of Directive EU/2004/18 as defined by the national law of any relevant State.

Are any of the conditions (a) to (g) applicable to the Applicant or any of its Group members? (Please tick relevant box).

YES	NO

If “yes” please give details.

Signed by or on behalf of Applicant
(and the Applicant’s Group, if applicable):

Printed:

Name of Applicant⁶:

Registered Address:

⁶ Please insert the FULL NAME of the Applicant, or in the case of a partnership the FULL NAMES of ALL the partners.

FORM 6 - DATA SHARING AGREEMENT FORM

General Data Protection Regulation (EU) 2016/679

Data Protection Act (IE), 2018

Details of Company / Individual Sole trader:

Company Name: _____
Company Address: _____

Chief Executive /
Sole Trader Name: _____

Declaration:

This Company/ Individual Sole Trader, as joint controller and/or processor of data with Cork County Council, declares the following:

- It has a competent working knowledge of GDPR requirements, and has taken the necessary measures to ensure that it is compliant with the General Data Protection Regulation, 2018.
- All data received from Cork County Council will be used for the sole purpose of providing the service / carrying out duties attached to this job.
- All data received from Cork County Council will only be available to staff assigned to this project, who are aware of GDPR responsibilities.
- When in the possession of this Company / Individual Sole Trader, all hard copies and electronic copies will be stored securely and only accessible to staff assigned to this project.
- In the event of a breach under GDPR regulations, this Company / Individual Sole Trader will immediately notify the Cork County Council Architects Department.

I have signed this declaration as Chief Executive of this company / or Individual Sole Trader.

Signed: _____

Date: _____

(Block): _____

Noted: _____

Date: _____

Cork County Council

(Please return completed and signed form to Architects Department, Cork County Council).

FORM 7 - DATA PROTECTION STATEMENT

[to be completed by the Applicant]

I/We confirm that I/we:

- We agree that, if awarded any Contract, we shall, in the performance of such contract, comply with all applicable obligations in the field of environmental, social and labour law.
- We confirm that all Data Subjects whose Personal Data is provided in our Tender have consented to the processing of such Personal Data by us, the Contracting Authority, the Evaluation Team and the supplier of the etenders.gov.ie website, for the purposes of our participation in this Competition or that we otherwise have a legal basis for providing such Personal Data to the Contracting Authority for the purposes of our participation in this Competition and that we will provide evidence of such consent and/or legal basis to the Contracting Authority upon request.

Signed by or on behalf of Applicant

Signed:			
Name (in Capital Letters):			
Position / Authorised Person:			
On behalf of:			
Address:			
Telephone:		Fax:	
Email:		Date:	

FORM 8 - DECLARATION IN RELATION TO FINANCIAL & ECONOMIC STANDING

[On Developer's letter-headed paper]

Declaration that Applicant can meet Minimum Standard for Economic and Financial Criteria in the Invitation for Expression of Interest document

To: Cork County Council County

Regarding: Expression of Interest for Social & Affordable Residential Units at Beechgrove, Clonakilty, Co Cork

Date: *[dd/mm/yyyy]*

Suitability criteria: Financial and Economic Standing

A Dhaoine Uaisle

I declare that as an Applicant interested in being assessed for suitability for Social & Affordable Residential Units at Beechgrove, Clonakilty, Co Cork I have the financial capacity to meet the minimum standards set down for economic and financial standing in the Invitation for Expression of Interest document.

Furthermore, I will provide the required evidence within seven calendar days to support this declaration when requested to do so during the Competition.

Is mise, le meas

Financial Director

[Name of Developer]

Appendix 2
Architectural design statement and
drawings

Residential Development Clonakilty, Co. Cork

Part 8 Planning Application

prepared by:

Deady Gahan Architects

on behalf of:



Comhairle Contae Chorcaí
Cork County Council

DGA Ref.: 22040



Location: **Clonakilty, Co. Cork**

Prepared for Cork County Council by Deady Gahan Architects



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00 INTRODUCTION

PROPOSED DEVELOPMENT

This document has been prepared by Deady Gahan Architects on behalf of Cork County Council in support of a proposed residential development in Clonakilty, Co Cork.

The design of the proposed scheme has been directly informed by the relevant planning policy documents at national and local levels. The proposed development has been designed to provide high quality residential units that will contribute positively to Clonakilty and deliver much needed housing in the county. The proposed site layout focuses on the creation of distinctive streetscapes with

different widths and parking formations that help generate a highly efficient scheme and assists our vision of placemaking.

To ensure the visual integration of the proposed development into the existing context, the scheme seeks to work with the challenging topography of the site to create a scheme which has been carefully considered. The layout has been organised in order to create a high density urban edge to the entrance of the site to the south with different scales and feature units dotted throughout the site.

We consider the proposed scheme provides for a wide range of housing types in Clonakilty and will contribute to the town's sustainable growth into the near future. A Design Team with extensive experience in residential schemes have been appointed. These including Deady Gahan Architects, McCutcheon Halley Planning Consultants, Forestbird Design (Landscape Architects) and Walsh Design Group (Engineering Consultants) to ensure a high quality design and a robust and comprehensive planning application submission is made.



01 SITE CONTEXT

EXISTING SITE IMAGES



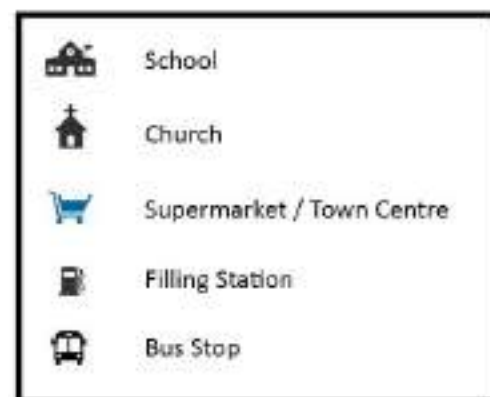
01 SITE CONTEXT

CONNECTIVITY & EXISTING/PROPOSED INFRASTRUCTURE

The subject lands offer a unique opportunity to provide a quality residential development within the locality. Attractive existing and proposed connectivity around the scheme provides desirable connections to the amenities of the town of Clonakilty.

The land is a greenfield site which slopes upward from south to north. The site is bounded by exiting residential development to the west and north with the existing Gaelscoil Mhichín Uí Choileáin to the east.

The site is in walking distance of a host of amenities offered by Clonakilty town such as schools, shops with a thriving town centre and active community groups and clubs.



01 SITE CONTEXT

EXISTING SITE FEATURES

Key site features:

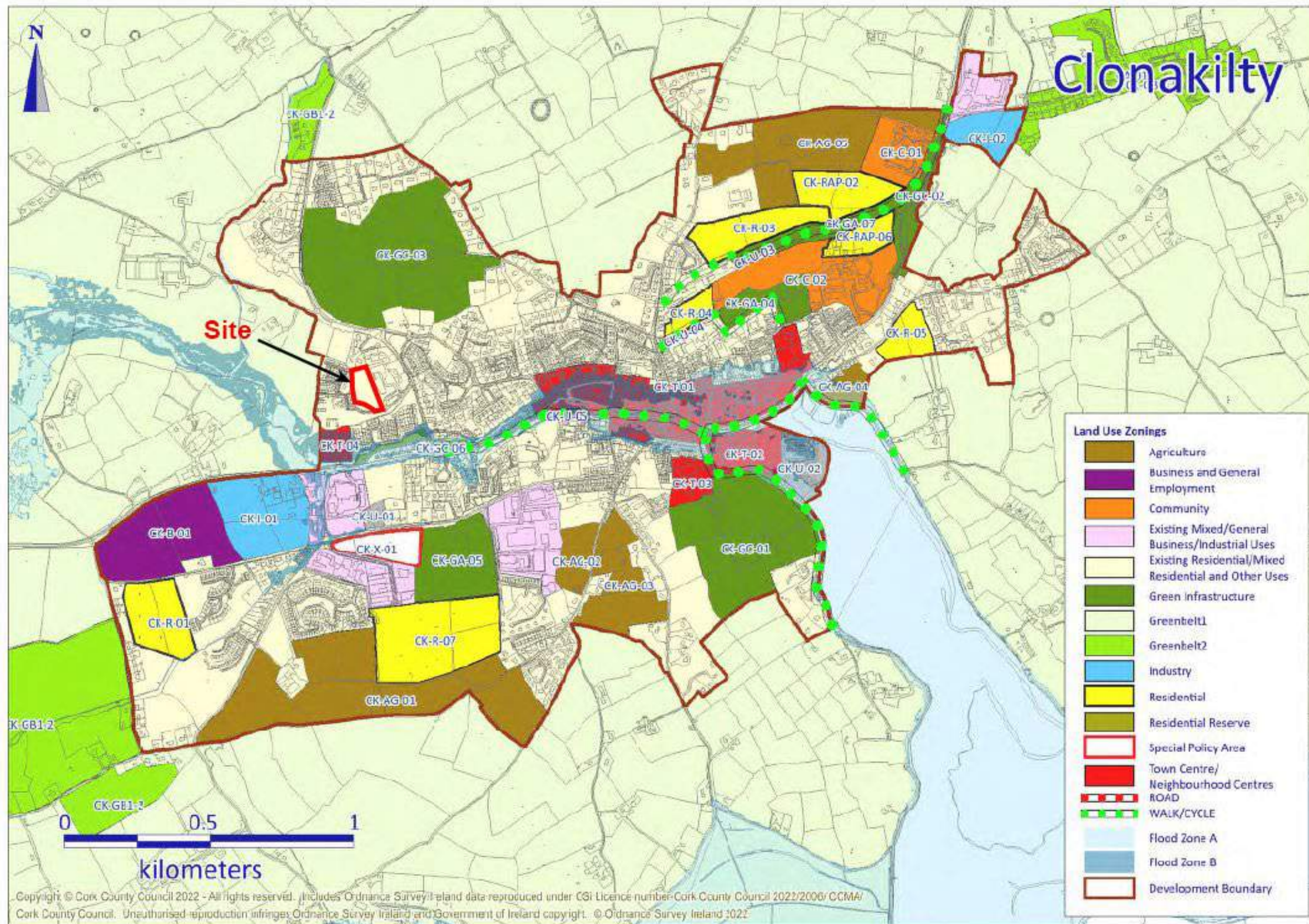
- Existing trees to be retained along western boundary.
- Existing tree-lined bank to be retained along southern boundary.
- Existing school to east.
- Existing residential development to west.
- Sloped topography to south of site.



Residential Development,
Clonakilty,
Co.Cork

01 SITE CONTEXT

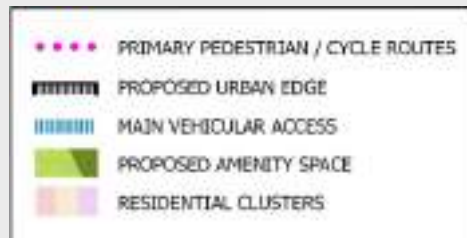
SITE ZONING



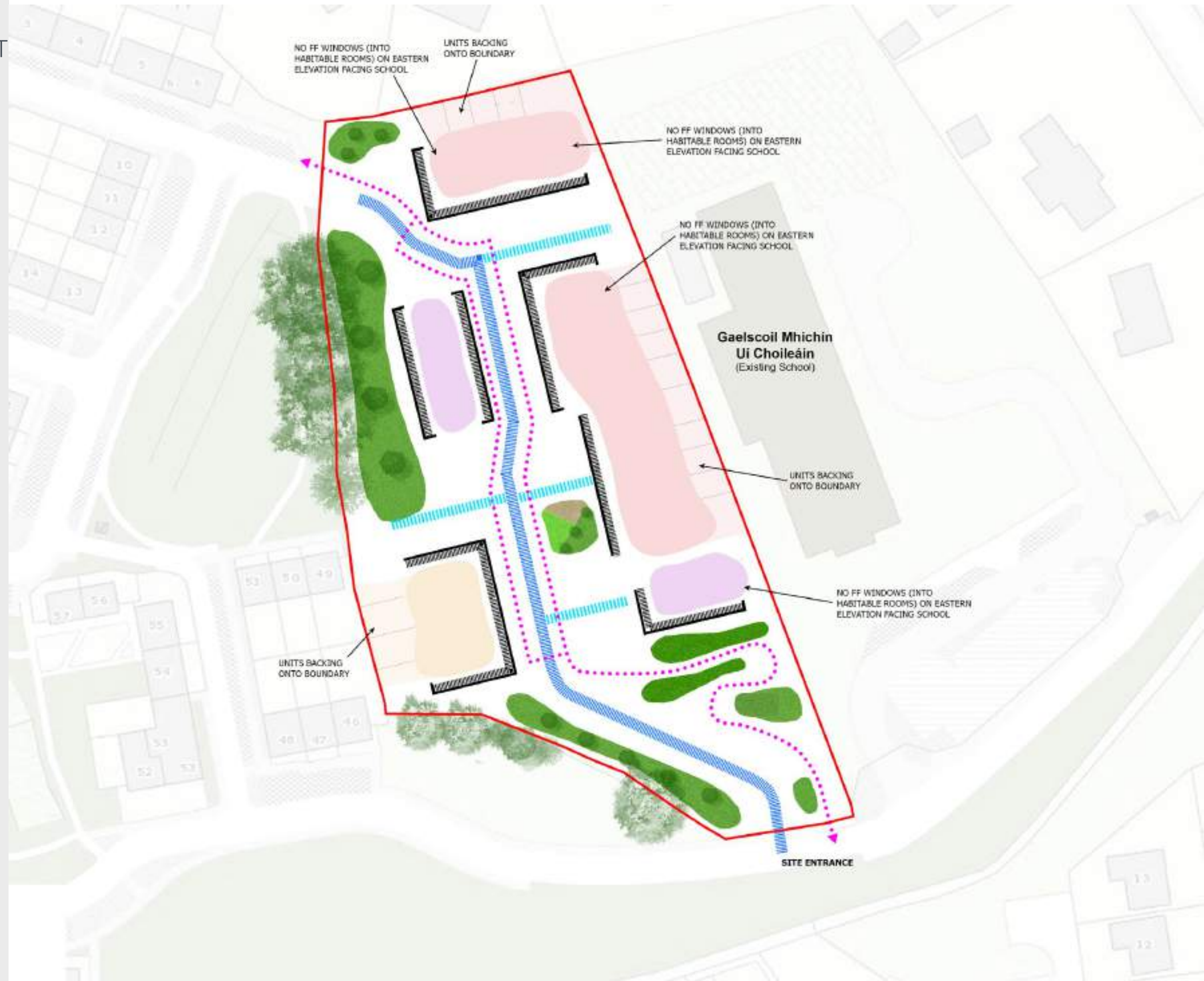
02 DESIGN STRATEGY PROPOSED CONCEPT

Concept based on the following principles:

- Strategically located open space to integrate with adjoining development to west.
- Urban edge provided at entrance of proposed development.
- Built edge fronting onto proposed street through site.
- Priority pedestrian permeability through site.
- Retention of existing trees.



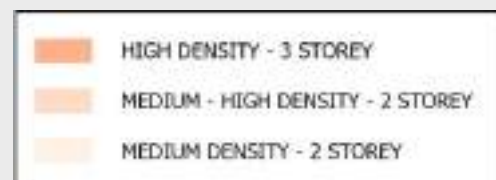
Residential Development,
Clonakilty,
Co.Cork



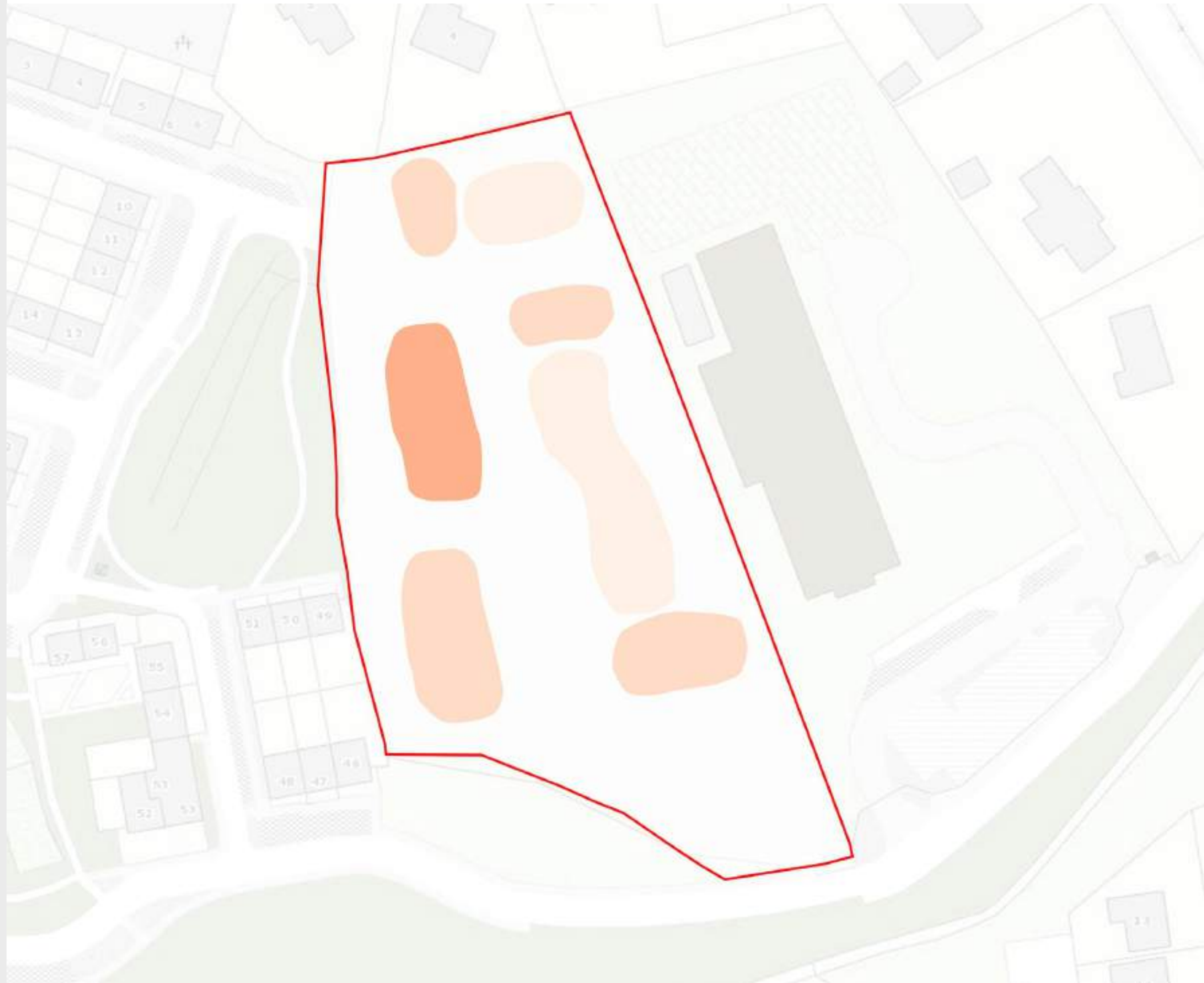
02 DESIGN STRATEGY

DENSITY ANALYSIS

- Higher density overlooking open space.
- Medium - High density to create feature corner elements / node points throughout the site.
- Medium density to back onto existing buildings to avoid overlooking.



Residential Development,
Clonakilty,
Co.Cork



02 DESIGN STRATEGY

STREET HIERARCHY

- Local street acts as the main route through the site and provides access from the entrance to the south.
- Several shared surfaces stem from this to promote community activity.



Residential Development,
Clonakilty,
Co.Cork



1. PRIMARY LOCAL STREET



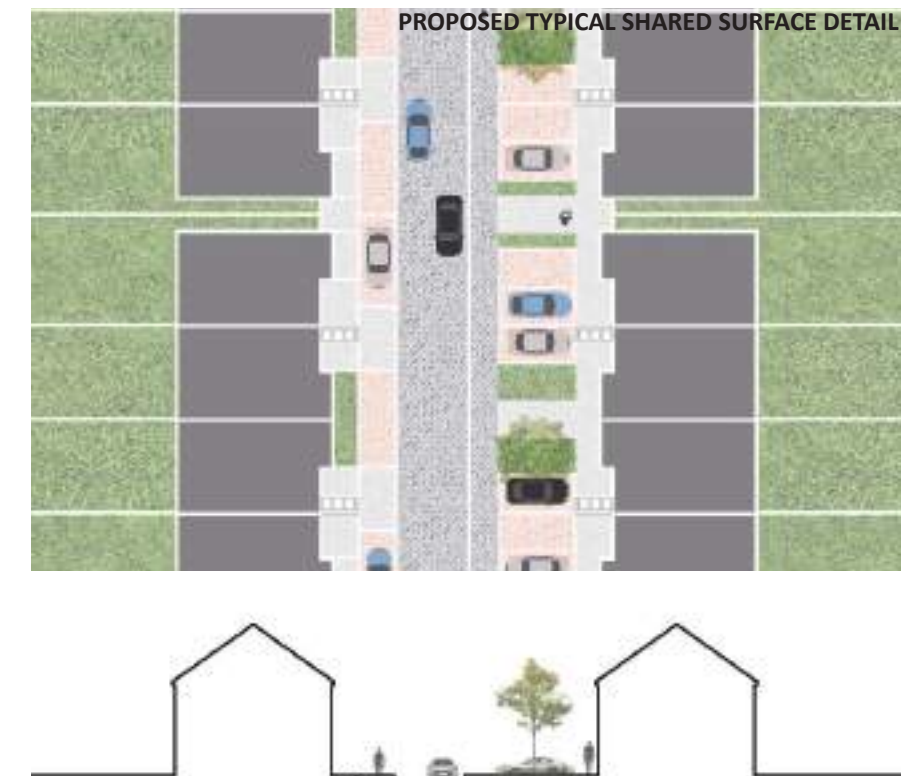
PRIMARY LOCAL STREET FEATURES:

- BOULEVARD/AVENUE STYLE
- 6m ROAD WIDTH
- CYCLE/PEDESTRIAN PATH SEPARATED FROM ROAD
- PARALLEL PARKING
- MINIMAL DIRECT ACCESS TO UNITS



VIEW OF PROPOSED PRIMARY LOCAL STREET

2. SHARED SURFACE



SHARED SURFACE FEATURES:

- 4.8-5m ROAD WIDTH
- ROAD-SIDE PEDESTRIAN PATH OR SHARED SURFACE
- PARALLEL PARKING OR ON-CURTILAGE PARKING
- DIRECT ACCESS TO UNITS
- INCORPORATING LIGHTING, BINS, PARKING & LANDSCAPING



VIEW OF A TYPICAL SHARED SURFACE

02 DESIGN STRATEGY LANDSCAPE PROPOSAL



Cycle / Pedestrian Path example



Communal Open Space example



Shared Space example



Cycle / Pedestrian Path example



Residential Development,
Clonakilty,
Co.Cork

PLEASE REFER TO THE LANDSCAPE
REPORT PREPARED BY FORESTBIRD
DESIGN LANDSCAPE ARCHITECTS
FOR FURTHER INFORMATION



03 PROPOSED DESIGN

SITE LAYOUT & SCHEDULE

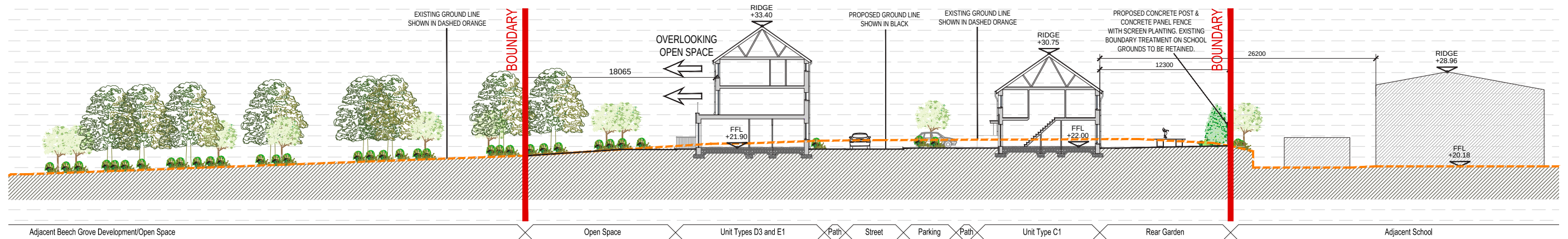
SCHEDULE OF ACCOMMODATION - CLONAKILTY					
Unit Type	Description	No. of Bedroom	No. of Bed Space	Unit Area (sq.m.)	No. of Units
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B1	End Townhouse	3	5	104.25	2
B2	Semi-detached	3	5	104.10	2
C1	End Townhouse	2	4	84.50	3
C2	Mid Townhouse	2	4	84.50	7
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D2	FF Apartment	2	4	84.44	2
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Total No. of Units					35

SITE SCHEDULE		
Site Area	0.99 HA	
Total No. of Units	No. 35	
Density	35.4 units/HA	
Usable Open Space	12%	
4 bed	1	3%
3 bed	4	12%
2 bed	20	57%
1 bed	10	28%

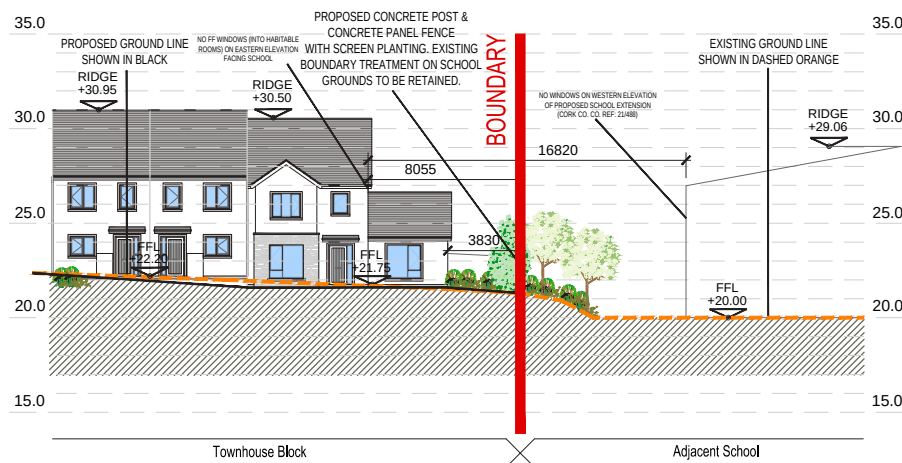


03 PROPOSED DESIGN

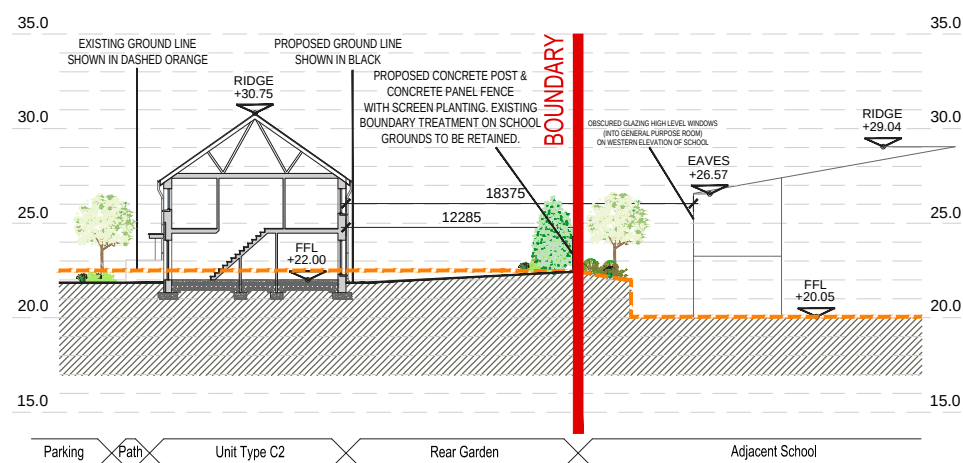
BOUNDARY SECTION ASSESSMENT



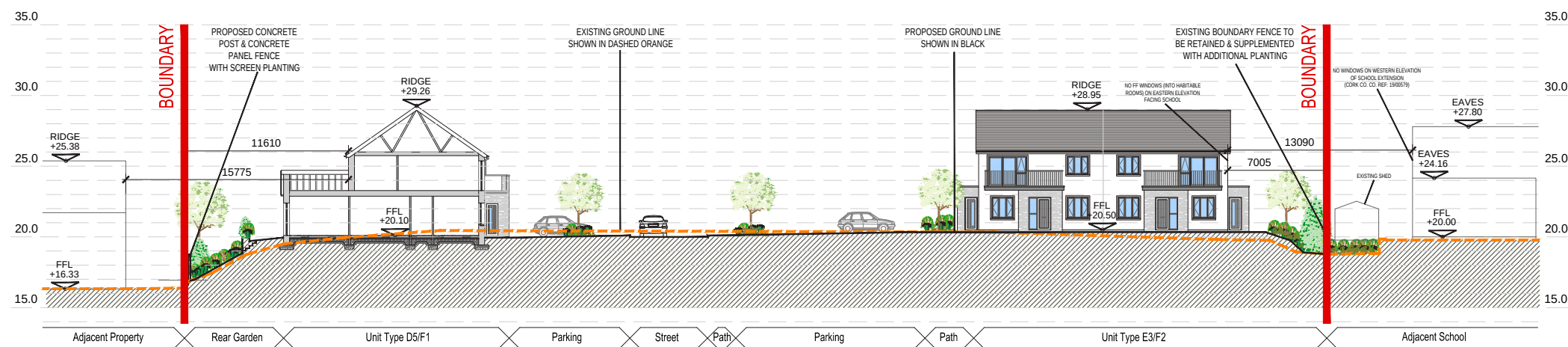
SITE SECTION A-A



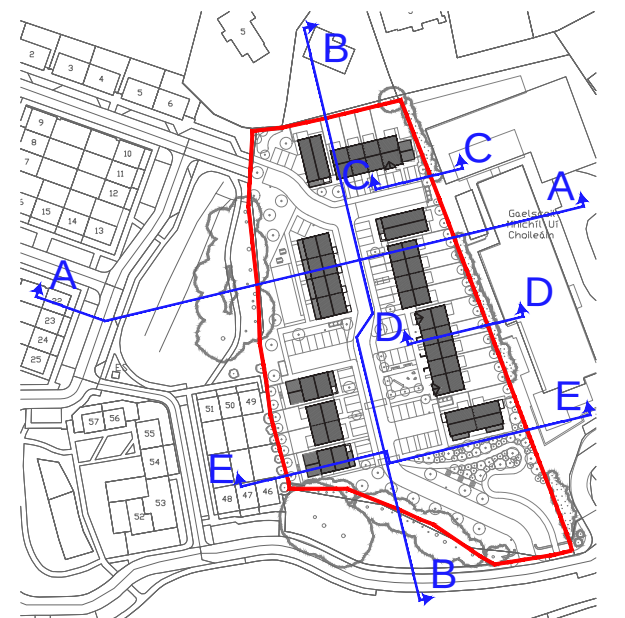
SITE SECTION C-C



SITE SECTION D-D



SITE SECTION E-E



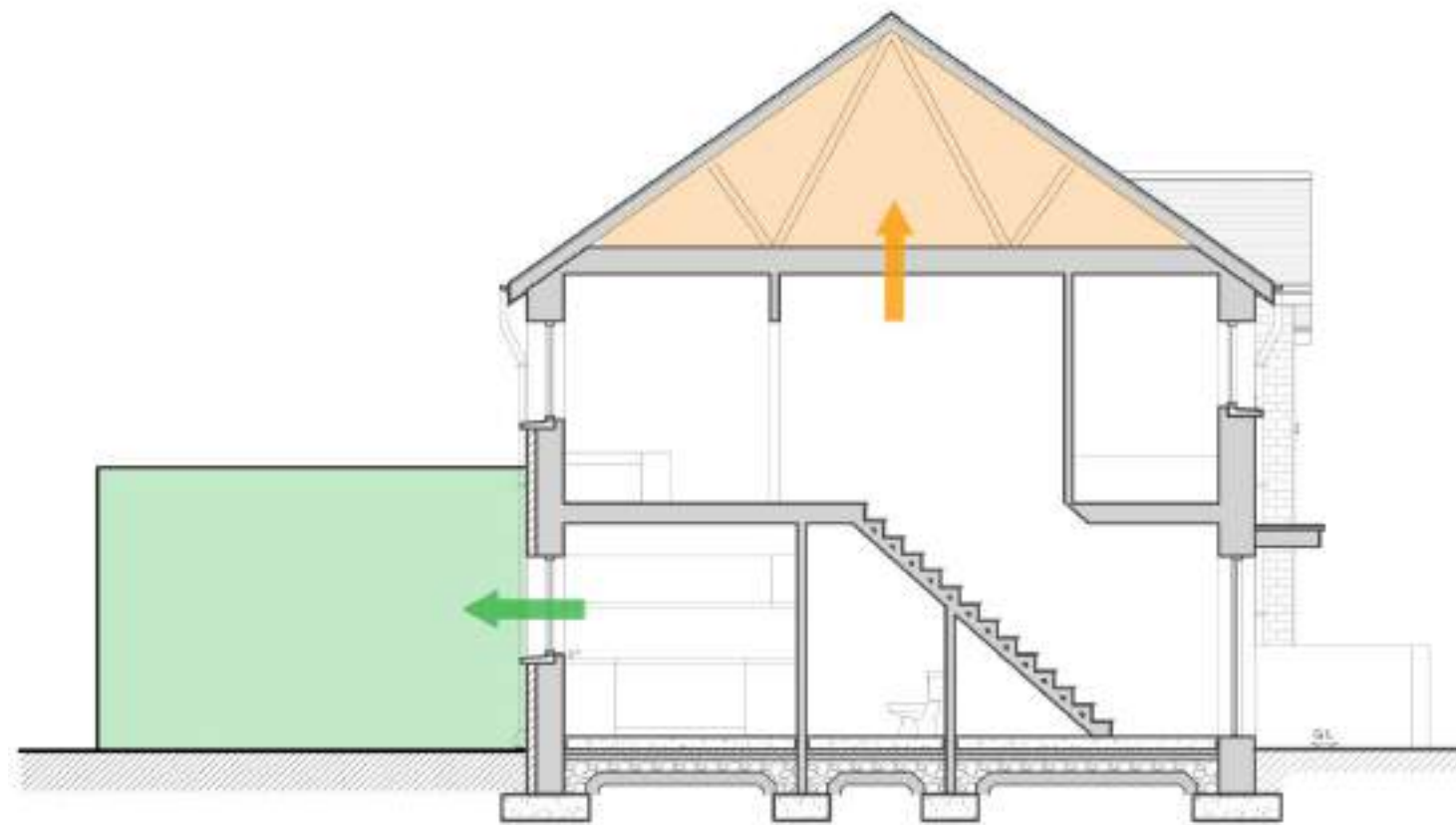
KEY PLAN

03 PROPOSED DESIGN

ADAPTABILITY

The proposed dwellings are adaptable to respond to potential changing needs over their lifetime. The units are strategically designed which allows the owner to extend into the attic and/or to the rear if they wish.

With a selection and distribution of house types reflecting how future market challenges can be used to the advantage of the community, the enhanced distinctiveness of the units will work for the benefit of this scheme.



DGA ADAPTABILITY OPTIONS

03 PROPOSED DESIGN MATERIALITY



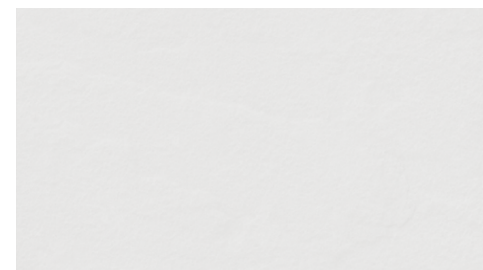
MATERIALITY



NATURAL STONE



GREY RENDER



OFF-WHITE RENDER



SLATE/TILE ROOF

03 PROPOSED DESIGN UNIT TYPE EXAMPLES



00 Ground Floor Level



01 First Floor Level



Perspective View

2 - Bed Mid - Townhouse (Unit Type C2)



00 Ground Floor Plan



01 First Floor Level



02 Second Floor Plan



2 - Bed Duplex over 1 - Bed GF Apartment
(Unit Types E2/D4 shown)

03 PROPOSED DESIGN UNIT TYPE EXAMPLES



00 Ground Floor Plan



01 First Floor Plan



Perspective View

1 - Bed Over 1 - Bed (Unit Types E3 / F2)



00 Ground Floor Plan



01 First Floor Plan



Perspective View

3 - Bed End Townhouse (Unit Type B1)

03 PROPOSED DESIGN

PROPOSED LAYOUT

SCHEDULE OF ACCOMMODATION - CLONAKILTY					
Unit Type	Description	No. of Bedroom	No. of Bed Space	Unit Area (sq.m.)	No. of Units
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Usable Open Space	12%	
4 bed	1	3%
3 bed	4	12%
2 bed	20	57%
1 bed	10	28%

This new neighbourhood will be an aesthetically pleasing and highly efficient new residential project that will provide vital accommodation and amenities that will benefit the wider community. Its permeable layout will provide important accessible connections for future residents to public transport links, community facilities and amenities in the wider area of Clonakilty.



Drawing Issue Register: - 01
Project: PROPOSED RESIDENTIAL DEVELOPMENT IN AN TAMHNAIGH, CLONAKILTY, CO. CORK.

PROPOSED RESIDENTIAL DEVELOPMENT IN AN TAMHNAIGH,
CLONAKILTY, CO. CORK.

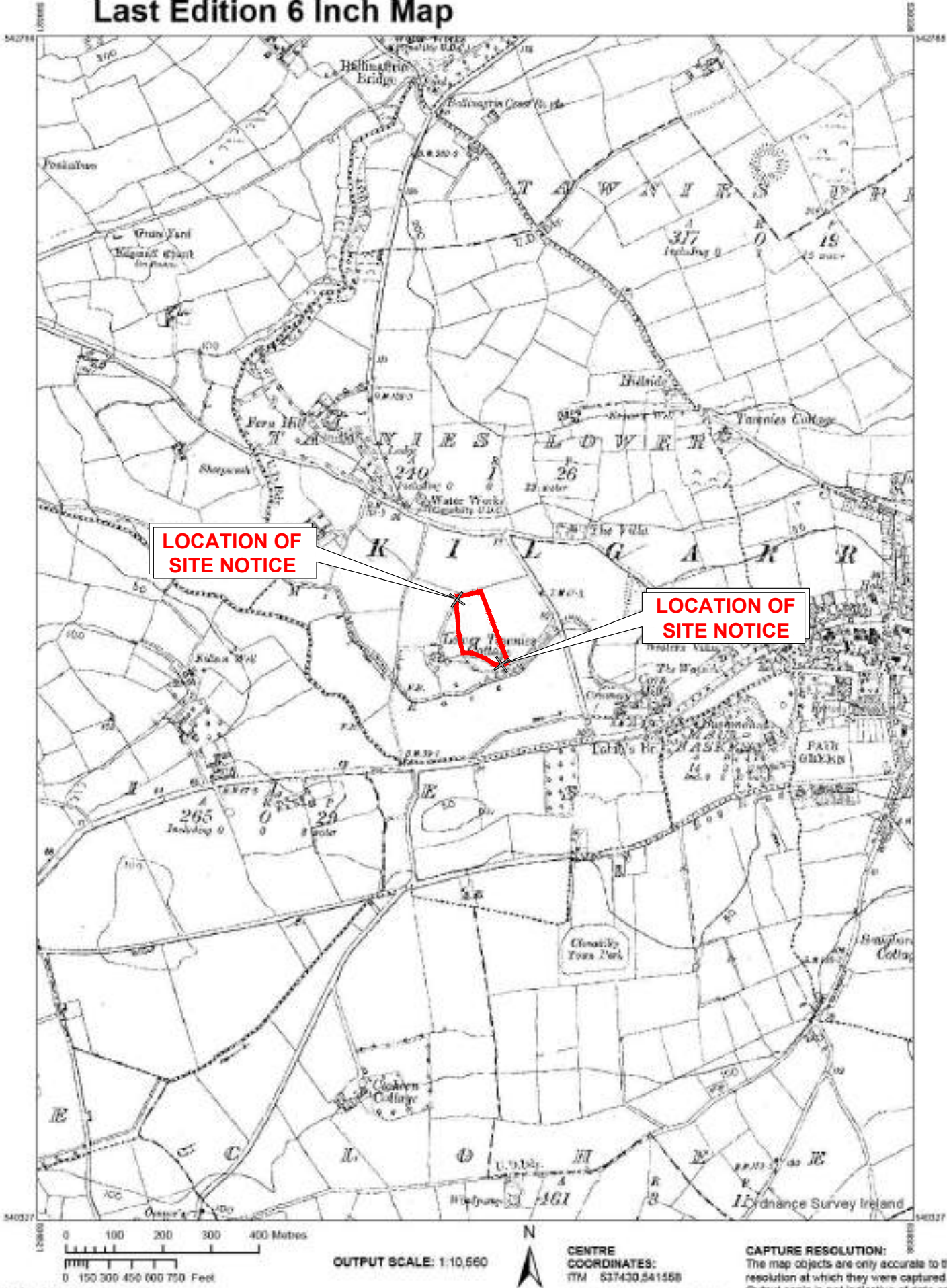


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			Issue Status:	P1							
			Day	01							
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			Year	24							
			Drg. No.								
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Site Location Map		1:2500 @ A3	22040/P/002	P1							
Proposed Site Plan		1:500 @ A2	22040/P/003A	P1							
Existing Site Plan		1:500 @ A2	22040/P/003B	P1							
Proposed Boundary Treatment Plan		1:500 @ A2	22040/P/003C	P1							
Proposed Boundary Details		1:50 @ A3	22040/P/003D	P1							
Proposed Parking Layout		1:500 @ A2	22040/P/003E	P1							
Proposed Site Section A-A		1:200/500 @ A1	22040/P/004A	P1							
Proposed Site Section B-B		1:200/500 @ A1	22040/P/004B	P1							
Proposed Site Sections C-C, D-D & E-E		1:200 @ A1	22040/P/004C	P1							
Housing Quality Assessment		NTS @ A3	22040/P/005	P1							
Proposed Bin & Bike Store		1:25 @ A3	22040/P/006A	P1							
Proposed Bike Store		1:50 @ A3	22040/P/006B	P1							
Proposed Bike Store		1:50 @ A3	22040/P/006C	P1							
Proposed Bin Store		1:50 @ A3	22040/P/006D	P1							
Proposed Bin Store		1:50 @ A3	22040/P/006E	P1							
Unit Types											
Type A1											
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Elevations, Section & 3D		1:100/200 @ A3	22040/P/102	P1							
Type B1											
Plans		1:100 @ A3	22040/P/201	P1							
Elevations, Section & 3D		1:100 @ A3	22040/P/202	P1							
Type B2											
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Type C1											
Plans, Elevations, Section & 3D		1:100/200 @ A3	22040/P/301	P1							
Type C2											
Plans, Elevations, Section & 3D		1:100 @ A3	22040/P/302	P1							
Type D1 & D2											
Plans		1:100 @ A3	22040/P/401	P1							
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Type E1 & D3											
Plans		1:100 @ A3	22040/P/501	P1							
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Type E2 & D4											
Plans		1:100 @ A3	22040/P/503	P1							
Elevations, Section & 3D		1:100/200 @ A3	22040/P/504	P1							

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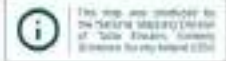
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Further information is available at:
www.osi.ie; search 'Capture Resolution'
LEGEND:
www.osi.ie; search 'Large Scale Legend'



Tailte
Éireann

— DENOTES SITE BOUNDARY
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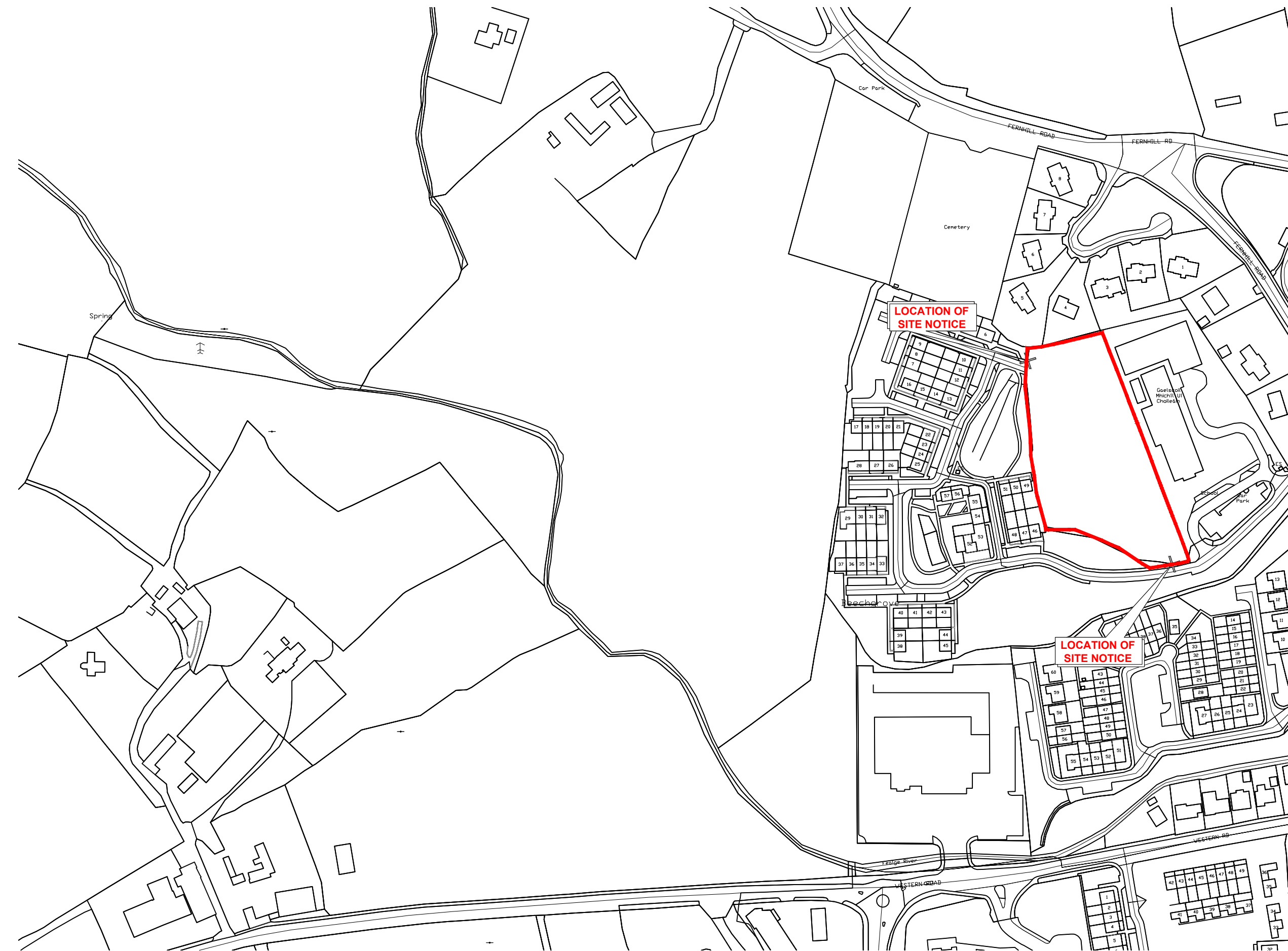
SITE LOCATION MAP

SCALE 1:10560

Firm Name and Address
DEADY SAHAN
DD ARCHITECTS
EASTGATE VILLAGE, LITTLE ISLAND, CORK
T: 021 4355016 W: WWW.DGARCHITECTS.IE
EMAIL: INFO@DGARCHITECTS.IE

Project Name and Address
PROPOSED RESIDENTIAL DEVELOPMENT
IN AN TAMHNAIGH, CLONAKILTY,
CO. CORK.

Drawing Title	Date
SITE LOCATION MAP	04.12.23
Drawing No.	Drawn
22040/P/001	MP
Scale	Sheet No.
1:10,560 @ A3	1 OF 2



SITE LOCATION MAP

SCALE 1:2500

— DENOTES SITE BOUNDARY
EDGED RED

MAP DETAILS

Description:

File Names:

6720-A.dwg / 6720-C.dwg

Clip Extent / Area of Interest (ADI):

LLX,LLY= 537207,541242
URX,URY= 537686,541687

Data Extraction Date:

Date= 21-Feb-2023



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P1	ISSUE FOR PLANNING	04.12.23
No.	Revision/Issue	Date

Firm Name and Address



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EMAIL: INFO@DGARCHITECTS.IE

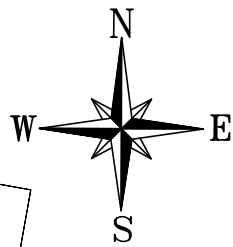
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PROPOSED RESIDENTIAL DEVELOPMENT
IN AN TAMHNAIGH, CLONAKILTY,
CO. CORK.

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22040/P/002	MP
Scale	Sheet No.
1:2500 @ A3	2 OF 2

SCHEDULE OF ACCOMMODATION - CLONAKILTY					
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LOCATION OF
SITE NOTICE

NO FF WINDOWS (INTO
HABITABLE ROOMS) ON
NORTHERN ELEVATION
FACING SCHOOL

NO FF WINDOWS (INTO
HABITABLE ROOMS) ON
EASTERN ELEVATION FACING
SCHOOL

EXISTING BOUNDARY
TREATMENT ON SCHOOL
GROUNDS ON EASTERN
BOUNDARY TO BE RETAINED.

NO FF WINDOWS (INTO
HABITABLE ROOMS) ON
EASTERN ELEVATION FACING
SCHOOL

NO FF WINDOWS (INTO
HABITABLE ROOMS) ON
EASTERN ELEVATION FACING
SCHOOL

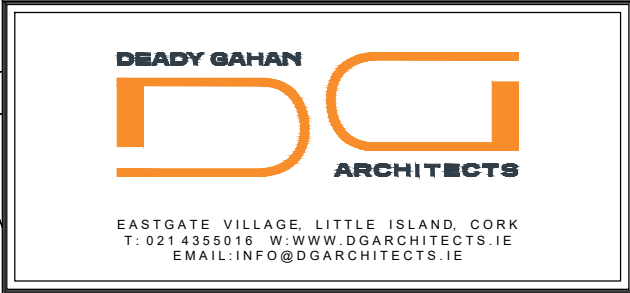
SITE
ENTRANCE

LOCATION OF
SITE NOTICE

PROPOSED SITE PLAN

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date	rev	name	chk	note
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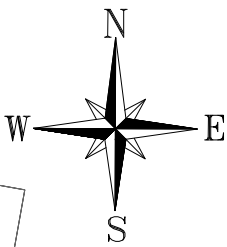


Project
PROPOSED RESIDENTIAL DEVELOPMENT
IN AN TÁMHAIGH, CLONAKILTY, CO CORK

Drawing title
PROPOSED SITE PLAN

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Project No. 22040	Drg. No. 22040/P/003A	Revision P1	Tender ☐
Information & Comments ☐ Planning			Construction ☐

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LOCATION OF
SITE NOTICE

EXISTING
ADJACENT
OPEN SPACE

EXISTING
SCHOOL

LOCATION OF
SITE NOTICE

date	rev	name	chk	note
02.11.23	P1	LM	EJG	ISSUED FOR PLANNING

DEADY GAHAN
ARCHITECTS

EASTGATE VILLAGE, LITTLE ISLAND, CORK
T: 021 4355018 W: WWW.DGARCHITECTS.IE
EMAIL: INFO@DGARCHITECTS.IE

Project
PROPOSED RESIDENTIAL DEVELOPMENT
IN AN TAMIHNAIGH, CLONAKILTY, CO CORK

Drawing title
EXISTING SITE PLAN

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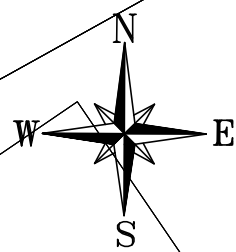
Project No.	Drg. No.	Revision
22040	22040/P/003B	P1

☐ Information & Comments	☐ Tender
☒ Planning	☐ Construction

EXISTING SITE PLAN

SCALE 1:500@A2

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LAYERS ON THIS DRAWING COMPLY WITH BS 1192: PART 5



BOUNDARY LEGEND

01. PROPOSED 2m HIGH RENDERED TO PUBLIC FACE CONCRETE BLOCK BOUNDARY WALL WITH CAPPING
02. PROPOSED 2m HIGH CONCRETE POST & CONCRETE PANEL FENCE
03. PROPOSED 2m HIGH CONCRETE POST & TIMBER PANEL FENCE
04. PROPOSED LOW LEVEL WALL WITH 1.1m RAILING ABOVE
05. EXISTING 2m HIGH WALL TO BE RETAINED
06. EXISTING BOUNDARY FENCE TO BE RETAINED AND SUPPLEMENTED WITH ADDITIONAL PLANTING WHERE REQUIRED
07. PROPOSED 1m HIGH RENDERED TO PUBLIC FACE CONCRETE BLOCK WALL WITH CAPPING
08. EXISTING 2m HIGH FENCE TO BE RETAINED DURING CONSTRUCTION - TO BE REMOVED ON COMPLETION OF THE SCHEME
09. PROPOSED 1.1m HIGH GALVANISED METAL RAILING

* EXISTING BOUNDARY TREATMENT ON SCHOOL GROUNDS ON EASTERN BOUNDARY TO BE RETAINED.

PROPOSED BOUNDARY TREATMENT PLAN

SCALE 1:500@A2

date	rev	name	chk	note
22.11.23	P1	MP	EJG	ISSUED FOR PLANNING



EASTGATE VILLAGE, LITTLE ISLAND, CORK
T: 021 4355018 W: WWW.DGARCHITECTS.IE
EMAIL: INFO@DGARCHITECTS.IE

Project
PROPOSED RESIDENTIAL DEVELOPMENT
IN AN TÁMHAIGH, CLONAKILTY, CO CORK

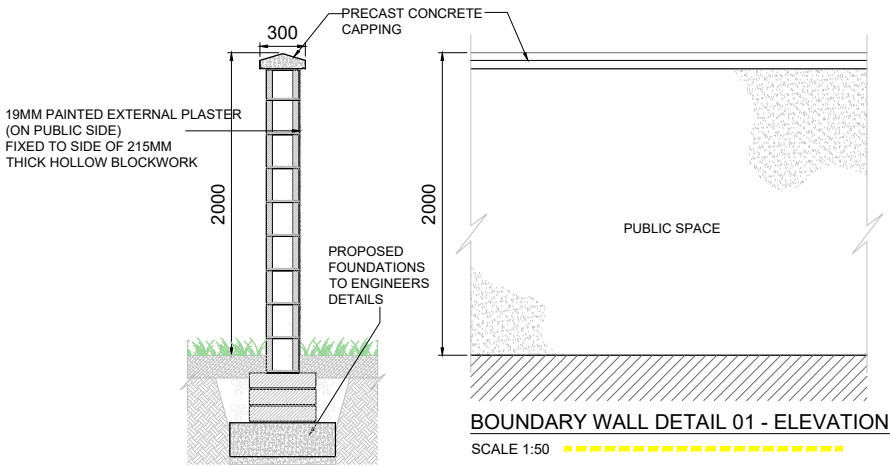
Drawing title
PROPOSED BOUNDARY TREATMENT PLAN

Scale	Drawn	Checked	Date
1:500 @ A2	LM	EJG	24.10.23

Project No.	Dwg. No.	Revision
22040	22040/P/003C	P1

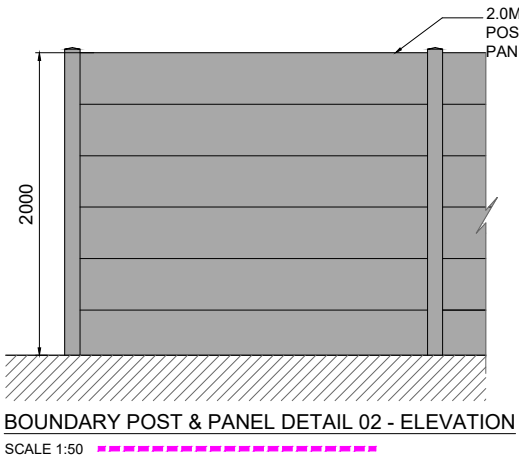
Information & Comments	Tender
Planning	Construction

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DRAWN ON AUTOCAD R2004 AT DEADY GAHAN ARCHITECTS LTD
LAYERS ON THIS DRAWING COMPLY WITH BS 1192: PART 5



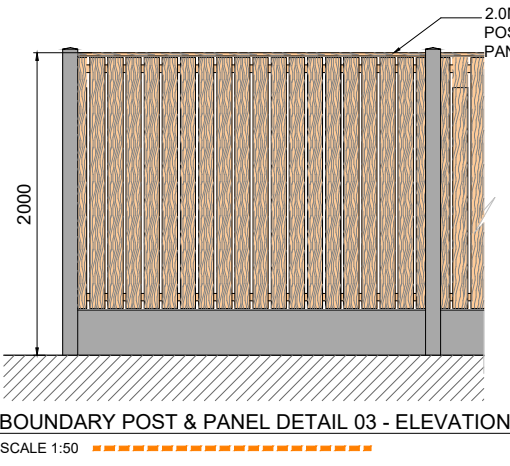
BOUNDARY WALL DETAIL 01 - SECTION

SCALE 1:50



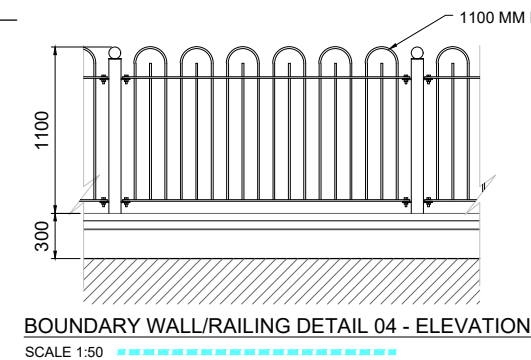
BOUNDARY POST & PANEL DETAIL 02 - SECTION

SCALE 1:50



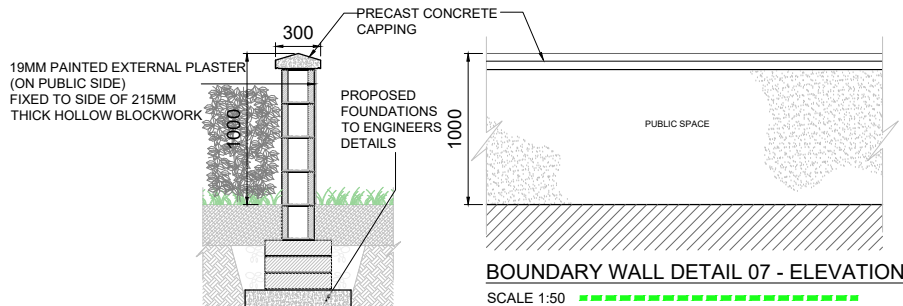
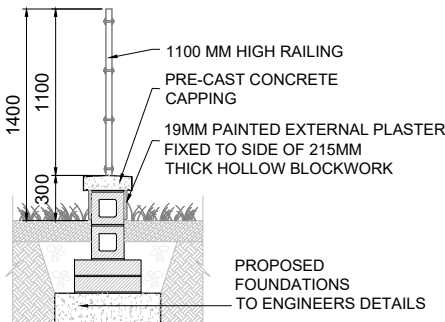
BOUNDARY POST & PANEL DETAIL 03 - SECTION

SCALE 1:50



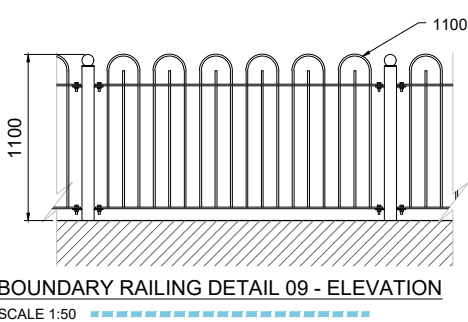
BOUNDARY WALL/RAILING DETAIL 04 - SECTION

SCALE 1:50



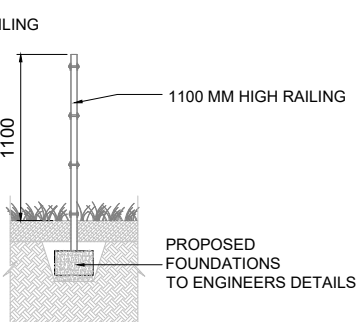
BOUNDARY WALL DETAIL 07 - SECTION

SCALE 1:50



BOUNDARY RAILING DETAIL 09 - SECTION

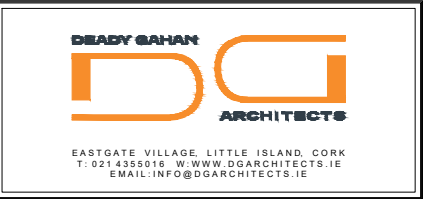
SCALE 1:50



PROPOSED BOUNDARY DETAILS

SCALE 1:50@A3

date	rev	name	chk	note
22.11.23	P1	MP	EJG	ISSUE FOR PLANNING

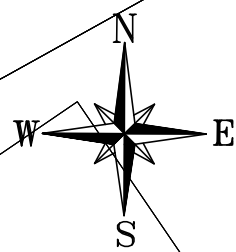


Project
PROPOSED RESIDENTIAL DEVELOPMENT AT
AN TAMHNAIGH, CLONAKILTY,
CO. CORK.

Drawing title
PROPOSED BOUNDARY DETAILS

Scale 1:50 @ A3	Drawn LM	Checked EJG	Date 16.11.23
Project No. 22040	Drp. No. 22040/P/003D	Revision P1	
☐ Information \ Comments		☐ Tender	
☒ Planning		☐ Construction	

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LAYERS ON THIS DRAWING COMPLY WITH BS 1192: PART 5



NO FF WINDOWS (INTO
HABITABLE ROOMS) ON
NORTHERN ELEVATION
FACING SCHOOL

NO FF WINDOWS (INTO
HABITABLE ROOMS) ON
EASTERN ELEVATION FACING
SCHOOL

EXISTING BOUNDARY
TREATMENT ON SCHOOL
GROUNDS ON EASTERN
BOUNDARY TO BE RETAINED.

NO FF WINDOWS (INTO
HABITABLE ROOMS) ON
EASTERN ELEVATION FACING
SCHOOL

NO FF WINDOWS (INTO
HABITABLE ROOMS) ON
EASTERN ELEVATION FACING
SCHOOL

SITE
ENTRANCE

VEHICLE PARKING SPACES - HOUSING			
Unit Types	No. of Units	Parking x Units	Total Parking
3 bed semi-detached	2	2no. parking spaces per unit	4
4 bed end (accessible) townhouse	1	2no. parking spaces per unit	2
3 bed end townhouse	2	1no. parking spaces per unit	2
2 bed end townhouse	3	1no. parking spaces per unit	3
2 bed mid townhouse	7	1no. parking spaces per unit	7
TOTAL NUMBER OF PRIVATE PARKING SPACES	15		18
TOTAL NUMBER OF VISITOR PARKING SPACES			3
This equates to 1.4 spaces per house			

VEHICLE PARKING SPACES - APARTMENTS			
Unit Types	No. of Units	Parking x Units	Total Parking
2 bed own-door access apartments	10	1no. parking spaces per unit	10
1 bed own-door access apartments	10	1no. parking spaces per unit	10
TOTAL NUMBER OF PRIVATE PARKING SPACES	20		20
TOTAL NUMBER OF VISITOR PARKING SPACES			8
This equates to 1.4 spaces per apartment			

PROPOSED PARKING LAYOUT

SCALE 1:500@A2

date	rev	name	chk	note
01.02.24	P1	LM	EJG	ISSUED FOR PLANNING



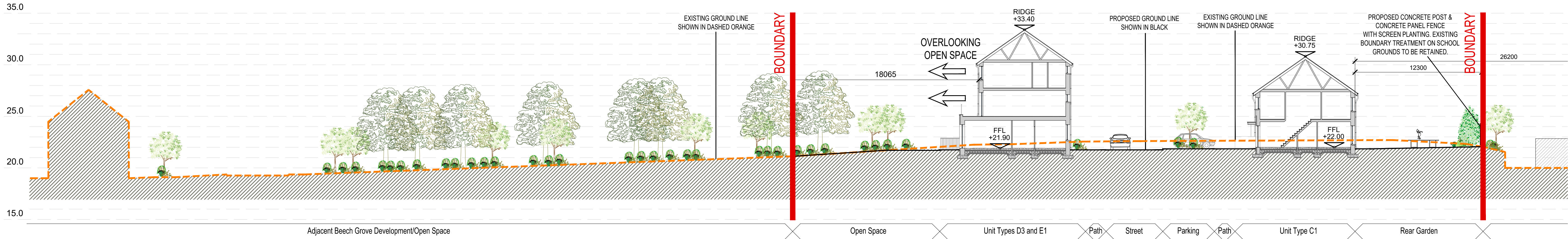
EASTGATE VILLAGE, LITTLE ISLAND, CORK
T: 021 4355018 W: WWW.DGARCHITECTS.IE
EMAIL: INFO@DGARCHITECTS.IE

Project
PROPOSED RESIDENTIAL DEVELOPMENT
IN AN TÁMHAIGH, CLONAKILTY, CO CORK

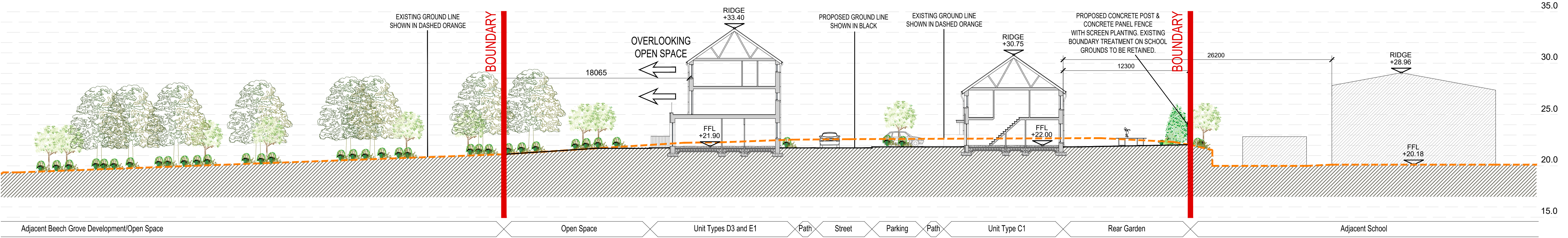
Drawing title
PROPOSED PARKING LAYOUT

Scale 1:500 @ A2	Drawn LM	Checked EJG	Date 24.10.23
Project No. 22040	Dr. No. 22040/P/003E	Revision P1	
☐ Information & Comments	☐ Planning	☐ Tender	☐ Construction

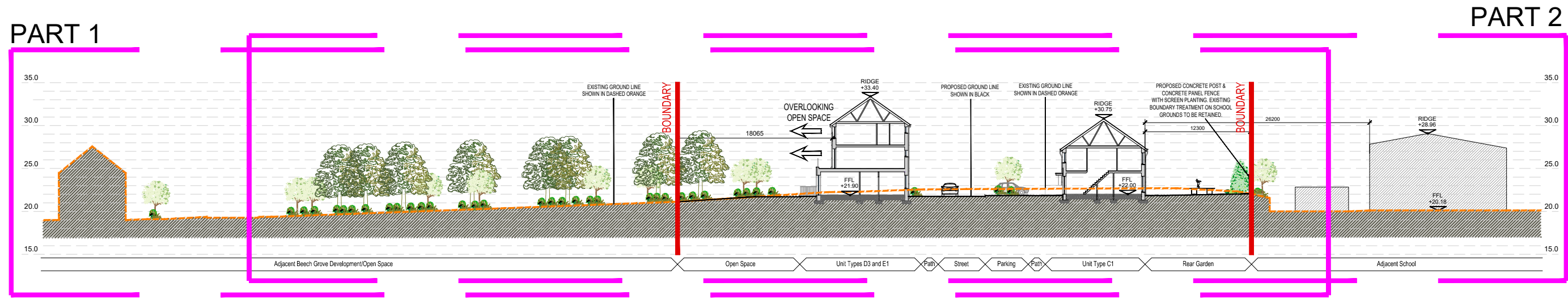
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LAYERS ON THIS DRAWING COMPLY WITH BS 1192: PART 5



SECTION A-A (PART 1)
SCALE 1:200@A1

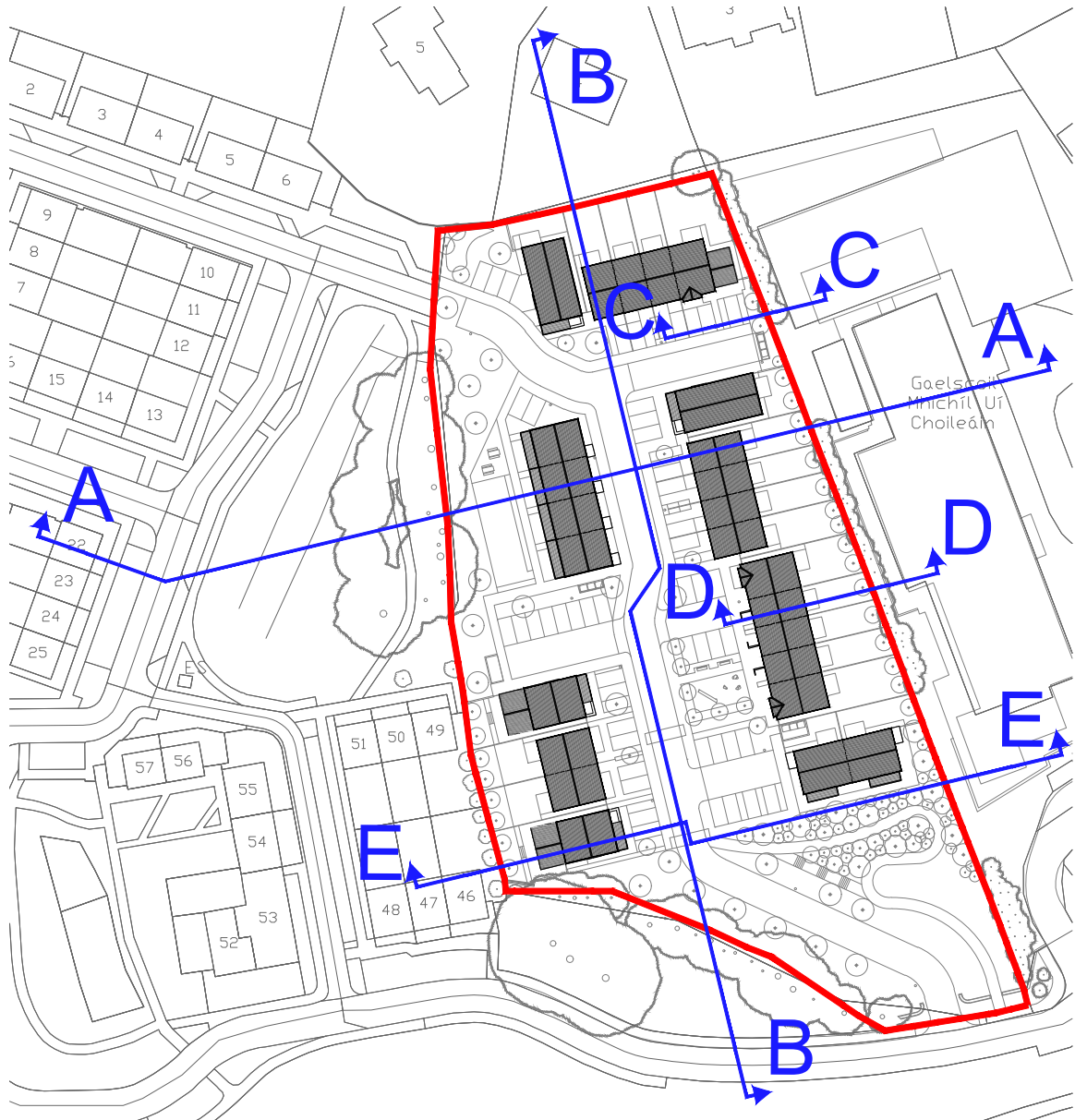


SECTION A-A (PART 2)
SCALE 1:200@A1



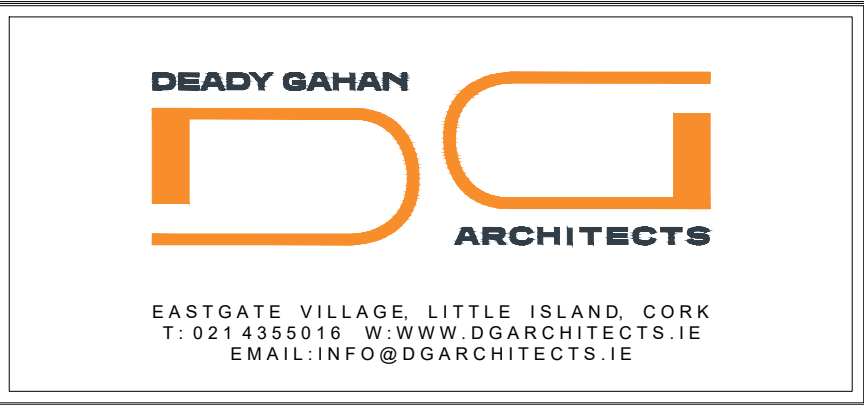
SECTION A-A KEY
SCALE 1:500@A1

PROPOSED SITE SECTION A-A
SCALE 1:200/1:500@A1



KEY PLAN
SCALE 1:1250@A1

date	rev	name	chk	note
22.11.23	P1	MP	EJG	ISSUE FOR PLANNING



Project
PROPOSED RESIDENTIAL DEVELOPMENT AT
AN TAMHNAIGH, CLONAKILTY,
CO. CORK.

Drawing title
SITE SECTION A-A

Scale	Drawn	Checked	Date
1:200/1:500 @ A1	MP	EJG	28.03.23

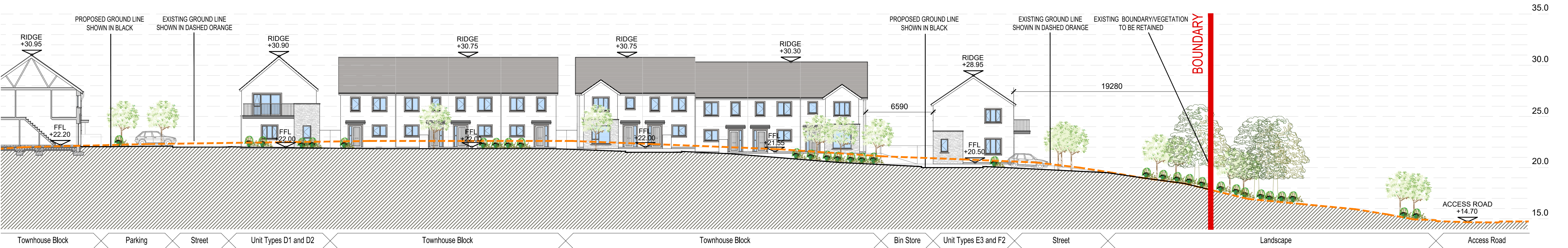
Project No.	Dwg. No.	Revision
22040	22040/P/004A	P1

☐ Information \ Comments	☐ Tender
☒ Planning	☐ Construction

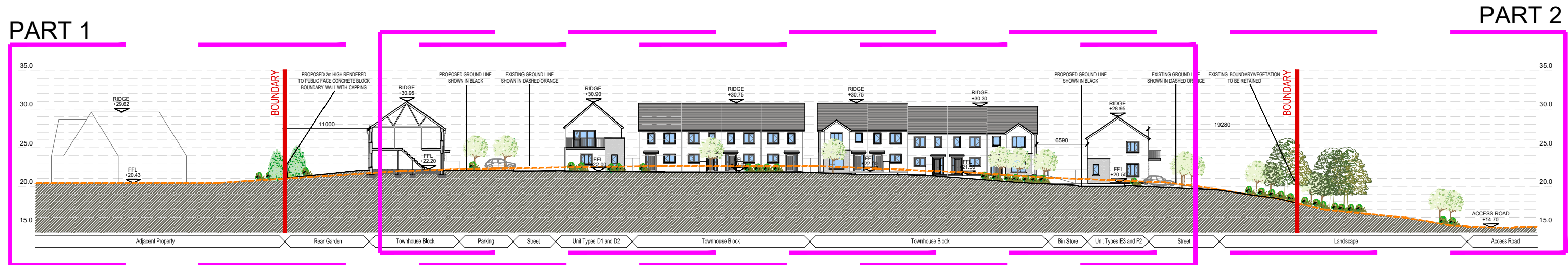
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DRAWN ON AUTOCAD R2004 AT DEADY GAHAN ARCHITECTS LTD
LAYERS ON THIS DRAWING COMPLY WITH BS 1192: PART 5



SECTION B-B (PART 1)
SCALE 1:200@A1

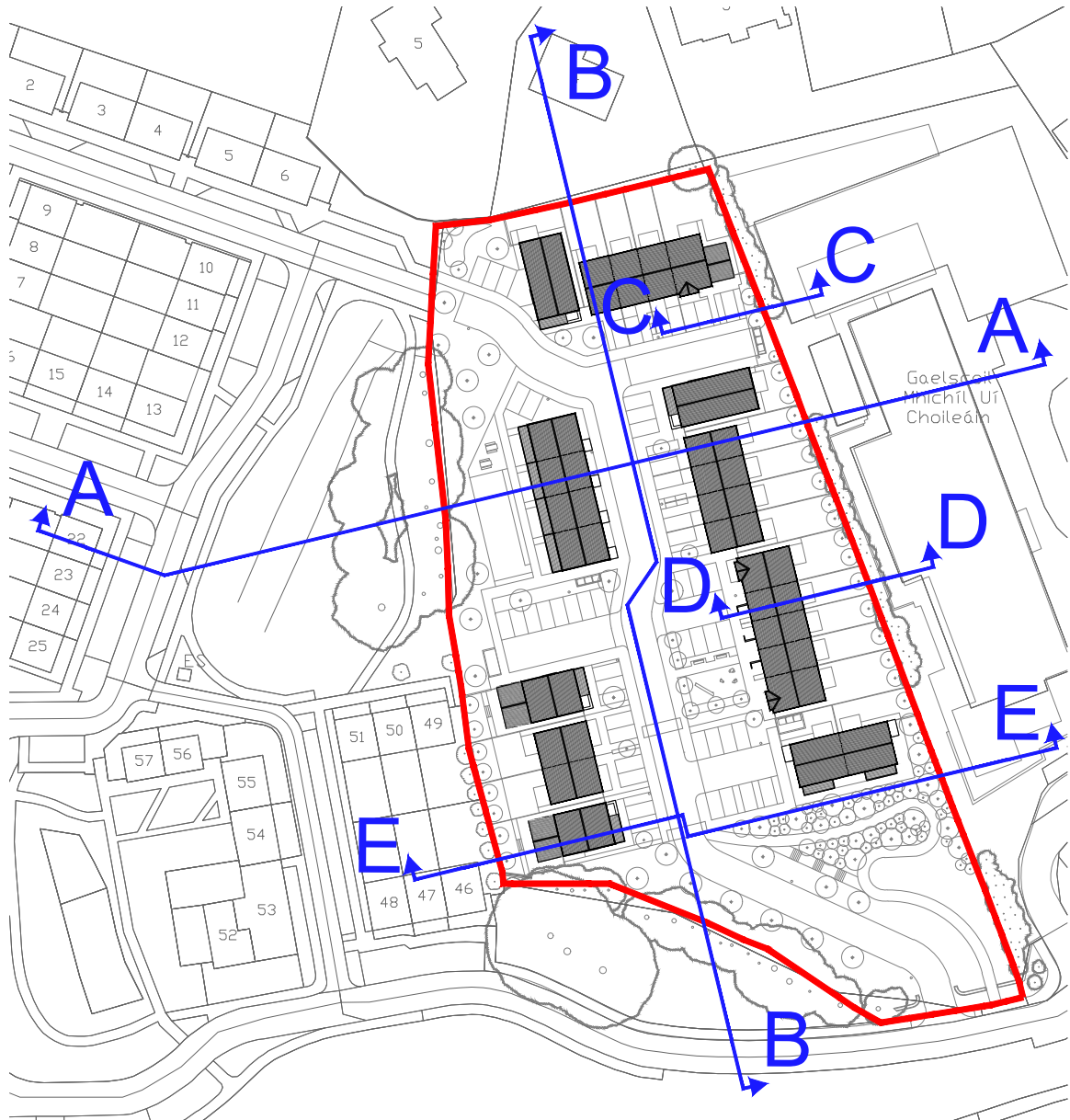


SECTION B-B (PART 2)
SCALE 1:200@A1



SECTION B-B KEY
SCALE 1:500@A1

PROPOSED SITE SECTION B-B
SCALE 1:200/1:500@A1



KEY PLAN
SCALE 1:1250@A1

date	rev	name	chk	note
22.11.23	P1	MP	EJG	ISSUE FOR PLANNING



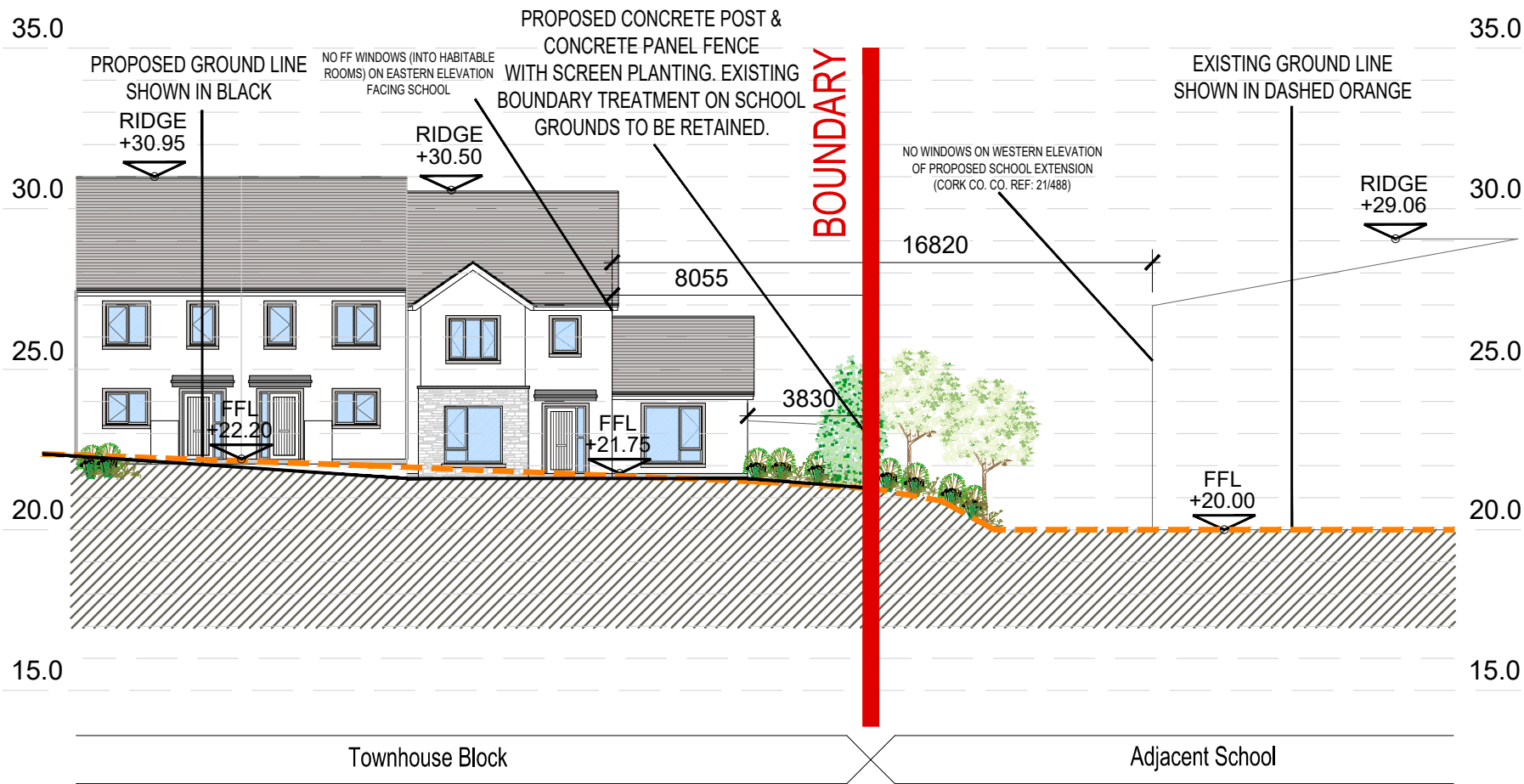
Project
PROPOSED RESIDENTIAL DEVELOPMENT AT
AN TAMHNAIGH, CLONAKILTY,
CO. CORK.

Drawing title
SITE SECTION B-B

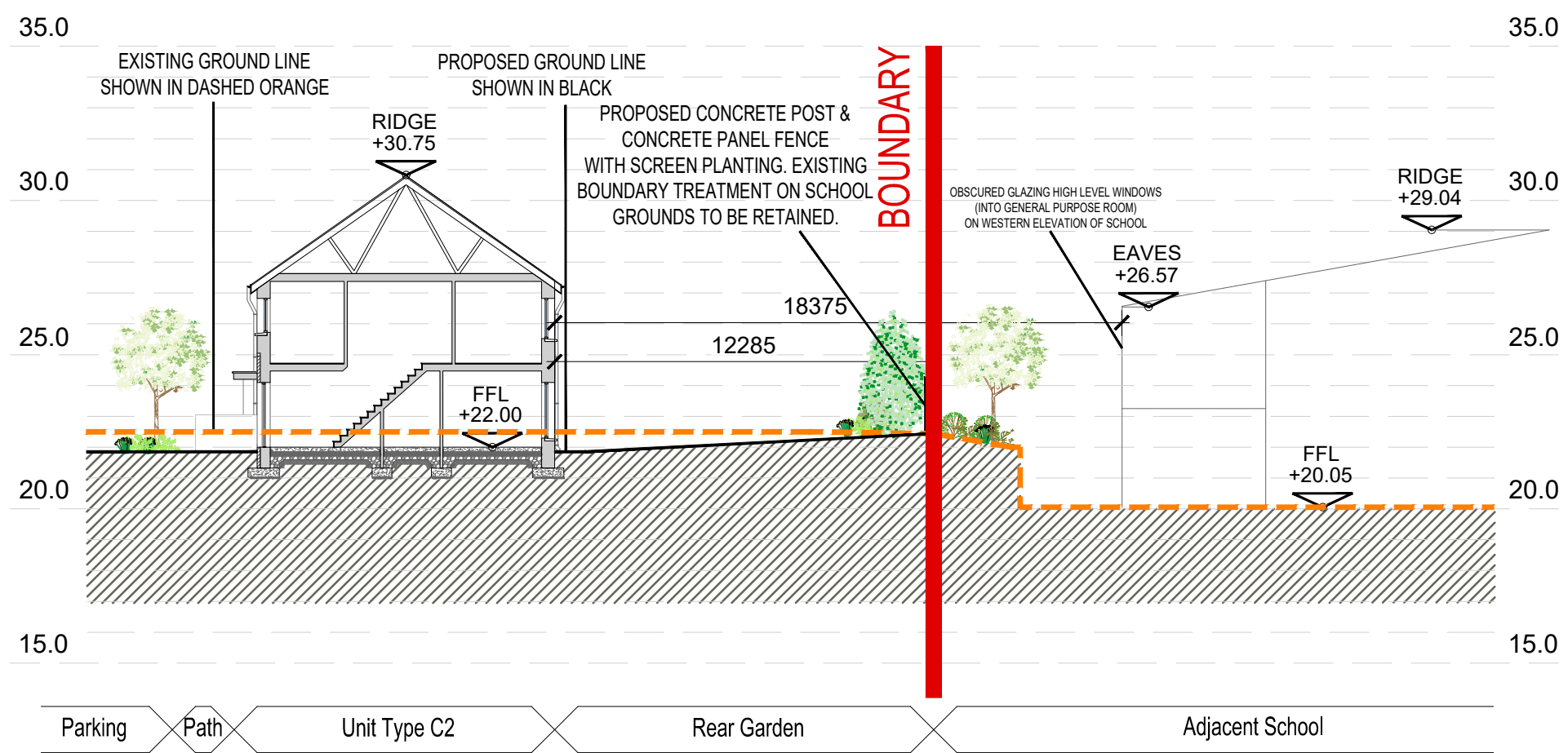
Scale	Drawn	Checked	Date
1:200/1:500 @ A1	MP	EJG	28.03.23

Project No.	Dir. No.	Revision
22040	22040/P/004B	P1

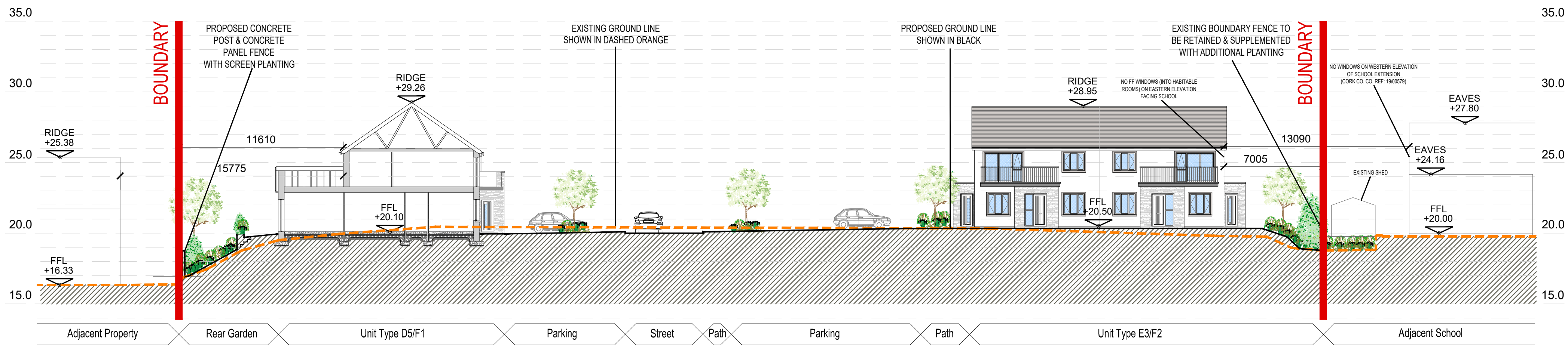
☐ Information \ Comments	☐ Tender
☒ Planning	☐ Construction



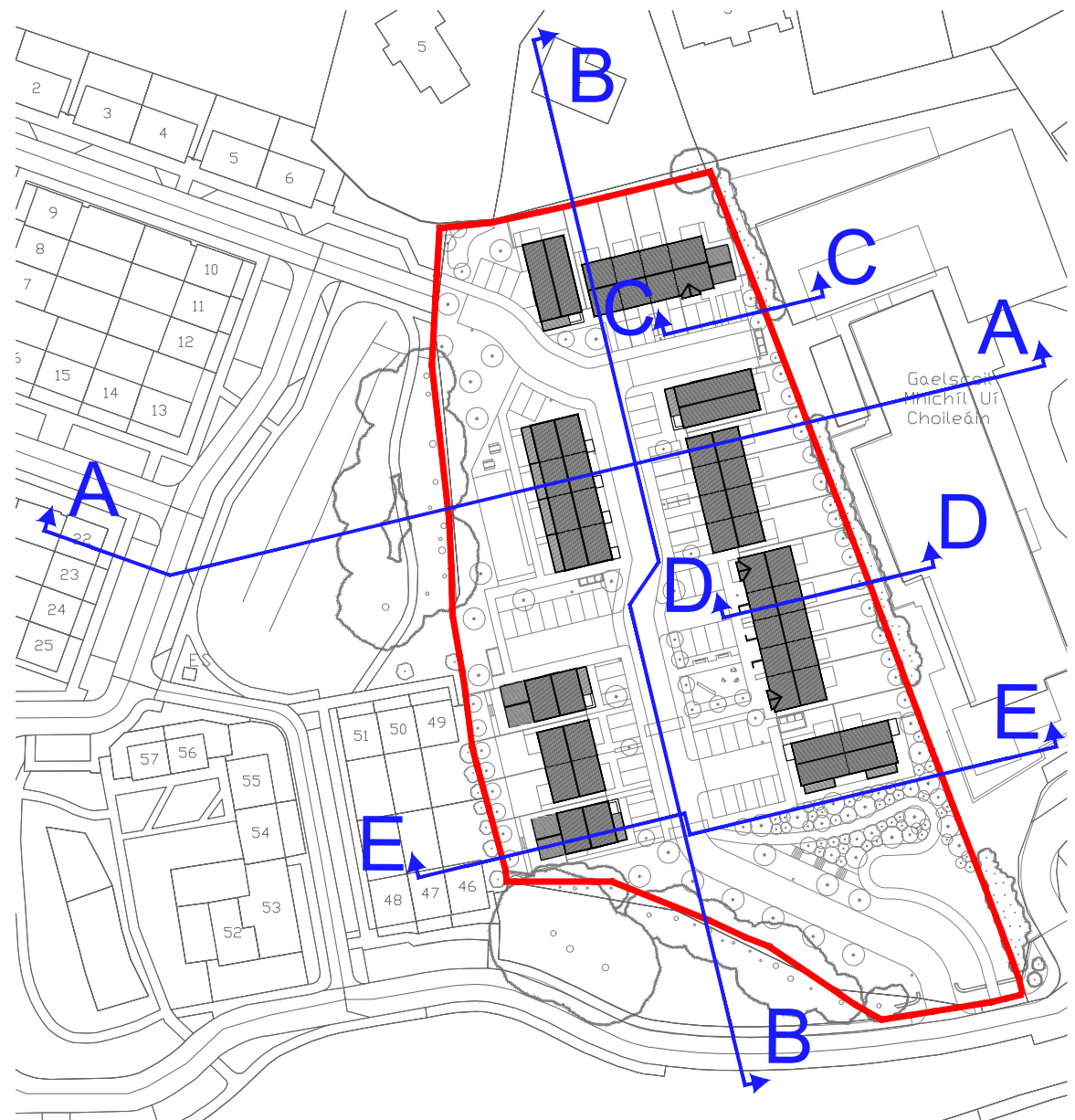
SECTION C-C
SCALE 1:200@A1



SECTION D-D
SCALE 1:200@A1

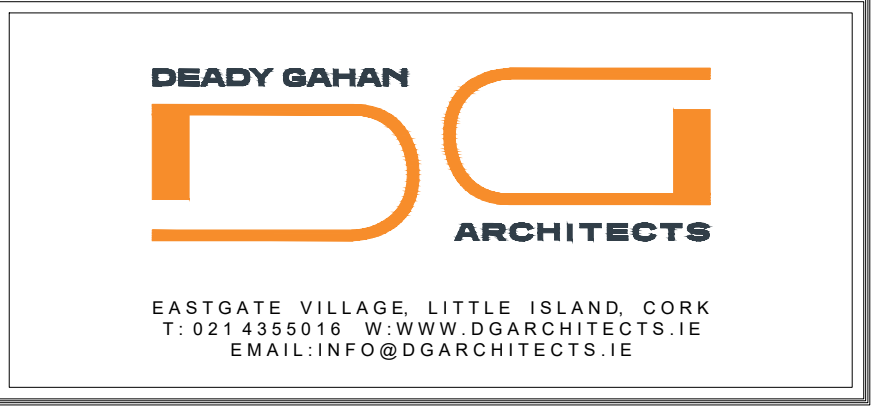


SECTION E-E
SCALE 1:200@A1



KEY PLAN
SCALE 1:1250@A1

date	rev	name	chk	note
22.11.23	P1	MP	EJG	ISSUE FOR PLANNING



Project
PROPOSED RESIDENTIAL DEVELOPMENT AT
AN TAMHNAIGH, CLONAKILTY,
CO. CORK.

Drawing title
SITE SECTION C-C, D-D & E-E

Scale	Drawn	Checked	Date
1:200 @ A1	MP	EJG	28.03.23

Project No.	Dwg. No.	Revision
22040	22040/P/004C	P1

☐ Information \ Comments	☐ Tender
☒ Planning	☐ Construction

PROPOSED SITE SECTIONS C-C, D-D & E-E
SCALE 1:200@A1

Schedule of Accomodation and Housing Quality Assesment



UNIT NO.	UNIT TYPE	DESCRIPTION	BED SPACES	DUAL ASPECT	MIN. UNIT AREA (m²)	UNIT AREA (m²)	MIN. AGG. LIVING AREA (m²)	AGG. LIVING AREA (m²)	BED 1 (m²)	BED 2 (m²)	BED 3 (m²)	BED 4 (m²)	MIN. AGG. BED AREA (m²)	AGG. BED AREA (m²)	MIN. STORAGE (m²)	STORAGE (m²)	MIN. PRIVATE AMENITY SPACE (m2)	PRIVATE AMENITY SPACE (m²)
1	E3	1 BED GF APARTMENT	2	YES	45.0	54.93	23.0	24.47	12.94	/	/	/	11.4	12.94	3.0	5.34	5.0	38.70
2	F2	1 BED FF APARTMENT	2	YES	45.0	53.47	23.0	26.56	12.09	/	/	/	11.4	12.09	3.0	3.30	5.0	8.24
3	F2	1 BED FF APARTMENT	2	YES	45.0	53.47	23.0	26.56	12.09	/	/	/	11.4	12.09	3.0	3.30	5.0	8.24
4	E3	1 BED GF APARTMENT	2	YES	45.0	54.93	23.0	24.47	12.94	/	/	/	11.4	12.94	3.0	5.34	5.0	72.10
5	D5	2 BED GF APARTMENT	4	YES	73.0	80.78	30.0	30.00	13.06	11.77	/	/	24.4	24.83	6.0	6.02	7.0	20.40
6	F1	1 BED FF APARTMENT	2	YES	45.0	53.10	23.0	28.07	12.23	/	/	/	11.4	12.23	3.0	3.37	5.0	7.26
7	B2	3 BED SEM-DETACHED	5	YES	92.0	104.10	34.0	34.06	13.37	12.36	8.26	/	32.0	33.99	5.0	6.12	60.0	85.80
8	B2	3 BED SEM-DETACHED	5	YES	92.0	104.10	34.0	34.06	13.37	12.36	8.26	/	32.0	33.99	5.0	6.12	60.0	87.10
9	F1	1 BED FF APARTMENT	2	YES	45.0	53.10	23.0	28.07	12.23	/	/	/	11.4	12.23	3.0	3.37	5.0	7.26
10	D5	2 BED GF APARTMENT	4	YES	73.0	80.78	30.0	30.00	13.06	11.77	/	/	24.4	24.83	6.0	6.02	7.0	16.70
11	B1	3 BED TOWNHOUSE	5	YES	92.0	104.25	34.0	34.18	14.20	12.08	8.22	/	32.0	34.50	5.0	6.20	60.0	104.80
12	C2	2 BED TOWNHOUSE	4	YES	80.0	84.50	30.0	30.90	13.55	11.65	/	/	25.0	25.20	4.0	4.00	48.0	68.40
13	C2	2 BED TOWNHOUSE	4	YES	80.0	84.50	30.0	30.90	13.55	11.65	/	/	25.0	25.20	4.0	4.00	48.0	65.10
14	C2	2 BED TOWNHOUSE	4	YES	80.0	84.50	30.0	30.90	13.55	11.65	/	/	25.0	25.20	4.0	4.00	48.0	61.80
15	B1	3 BED TOWNHOUSE	5	YES	92.0	104.25	34.0	34.18	14.20	12.08	8.22	/	32.0	34.50	5.0	6.20	60.0	82.80
16	C1	2 BED TOWNHOUSE	4	YES	80.0	84.50	30.0	30.90	13.55	11.65	/	/	25.0	25.20	4.0	4.00	48.0	91.90
17	C2	2 BED TOWNHOUSE	4	YES	80.0	84.50	30.0	30.90	13.55	11.65	/	/	25.0	25.20	4.0	4.00	48.0	70.30
18	C2	2 BED TOWNHOUSE	4	YES	80.0	84.50	30.0	30.90	13.55	11.65	/	/	25.0	25.20	4.0	4.00	48.0	66.70
19	C1	2 BED TOWNHOUSE	4	YES	80.0	84.50	30.0	30.90	13.55	11.65	/	/	25.0	25.20	4.0	4.00	48.0	77.80
20	D2	2 BED FF APARTMENT	4	YES	73.0	84.44	30.0	32.35	13.66	13.91	/	/	24.4	27.57	6.0	6.00	7.0	7.94
21	D1	2 BED GF APARTMENT	4	YES	73.0	80.83	30.0	30.77	13.01	11.61	/	/	24.4	24.62	6.0	6.00	7.0	55.10
22	E2	1 BED GF APARTMENT	2	YES	45.0	56.50	23.0	23.15	14.25	/	/	/	11.4	14.25	3.0	3.80	5.0	12.85
23	D4	2 BED DUPLEX UNIT	4	YES	73.0	93.70	30.0	30.00	13.35	11.50	/	/	24.4	24.85	6.0	6.65	7.0	10.95
24	E1	1 BED GF APARTMENT	2	YES	45.0	56.50	23.0	23.15	14.25	/	/	/	11.4	14.25	3.0	3.80	5.0	12.45
25	D3	2 BED DUPLEX UNIT	4	YES	73.0	93.70	30.0	30.00	13.35	11.50	/	/	24.4	24.85	6.0	6.65	7.0	10.75
26	E1	1 BED GF APARTMENT	2	YES	45.0	56.50	23.0	23.15	14.25	/	/	/	11.4	14.25	3.0	3.80	5.0	12.45
27	D3	2 BED DUPLEX UNIT	4	YES	73.0	93.70	30.0	30.00	13.35	11.50	/	/	24.4	24.85	6.0	6.65	7.0	10.75
28	E1	1 BED GF APARTMENT	2	YES	45.0	56.50	23.0	23.15	14.25	/	/	/	11.4	14.25	3.0	3.80	5.0	12.45
29	D3	2 BED DUPLEX UNIT	4	YES	73.0	93.70	30.0	30.00	13.35	11.50	/	/	24.4	24.85	6.0	6.65	7.0	10.75
30	D1	2 BED GF APARTMENT	4	YES	73.0	80.83	30.0	30.77	13.01	11.61	/	/	24.4	24.62	6.0	6.00	7.0	50.90
31	D2	2 BED FF APARTMENT	4	YES	73.0	84.44	30.0	32.35	13.66	13.91	/	/	24.4	27.57	6.0	6.00	7.0	7.94
32	C1	2 BED TOWNHOUSE	4	YES	80.0	84.50	30.0	30.90	13.55	11.65	/	/	25.0	25.20	4.0	4.00	48.0	68.60
33	C2	2 BED TOWNHOUSE	4	YES	80.0	84.50	30.0	30.90	13.55	11.65	/	/	25.0	25.20	4.0	4.00	48.0	55.40
34	C2	2 BED TOWNHOUSE	4	YES	80.0	84.50	30.0	30.90	13.55	11.65	/	/	25.0	25.20	4.0	4.00	48.0	55.40
35	A1	4 BED TOWNHOUSE (ACCESSIBLE UNIT)	7	YES	110.0	121.56	40.0	40.05	13.63	12.62	12.08	8.13	43.0	46.46	6.0	6.07	60.0	136.40

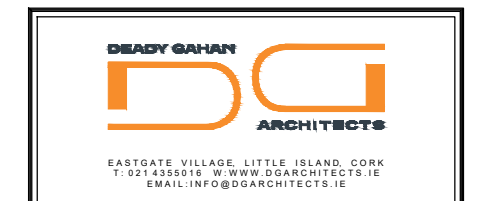
NOTE

The columns highlighted in **RED** in the Housing Quality Assessment, relate to the minimum standards in the 2007 Housing Guidelines (Quality Housing for Sustainable Communities) and the 2022 Apartment Guidelines

HOUSING QUALITY ASSESSMENT

NTS @A3

date	rev	name	chk	note
02.11.23	P1	LM	EJG	ISSUE FOR PLANNING

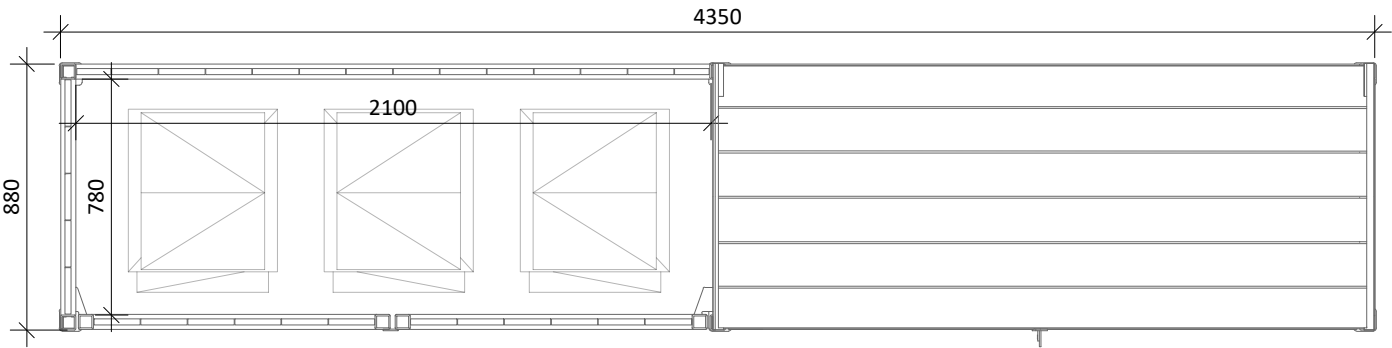


Project
PROPOSED RESIDENTIAL DEVELOPMENT AT
AN TAMHNAIGH, CLONAKILTY,
CO. CORK.

Drawing title
HOUSING QUALITY ASSESSMENT

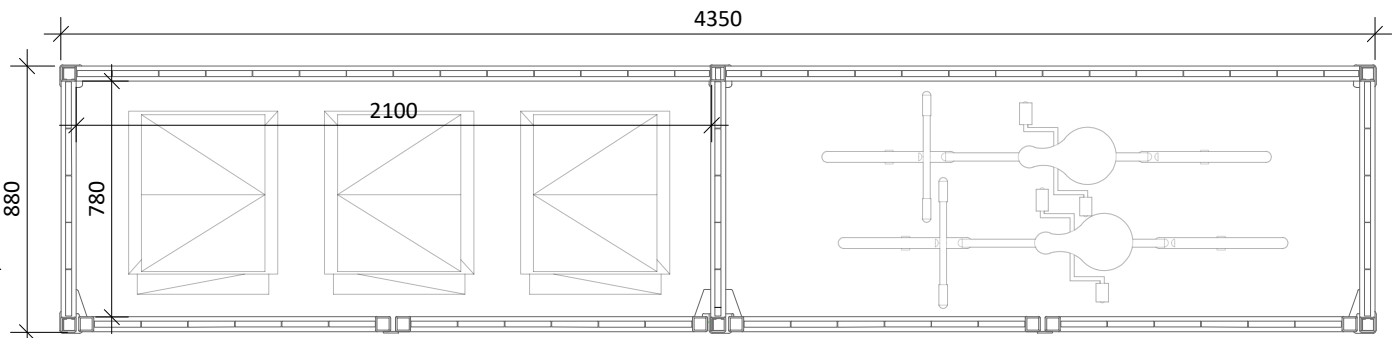
Scale NTS @ A3	Drawn LM	Checked EJG	Date 02.11.23
Project No. 22040	Org. No. 22040/P1/005	Revision P1	
☐ Information / Comments	☐ Tender	☐ Construction	

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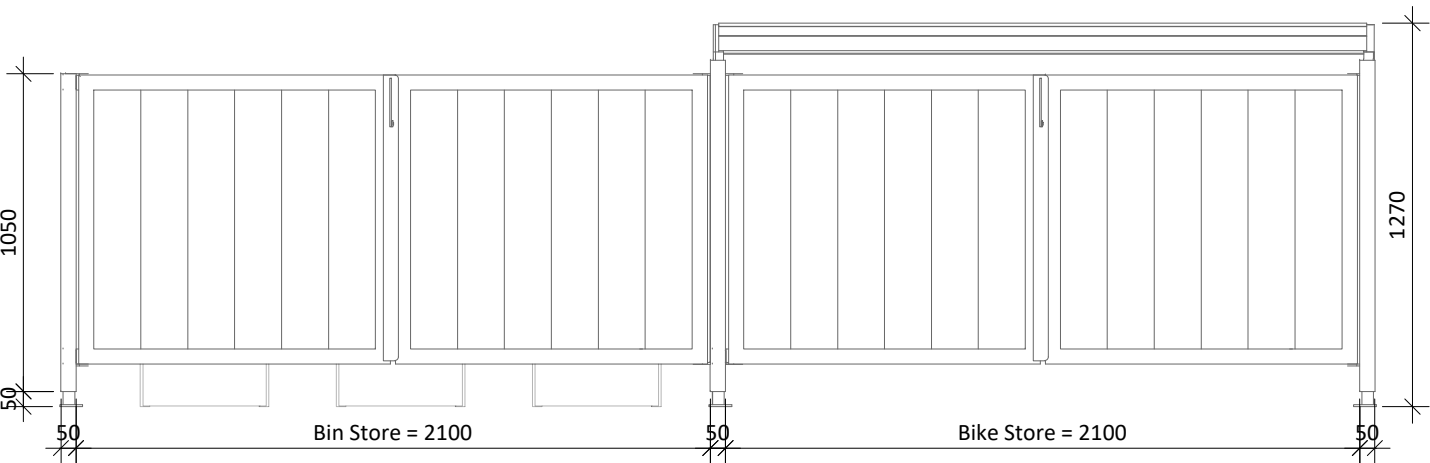
Roof Plan

Scale 1:25@A3



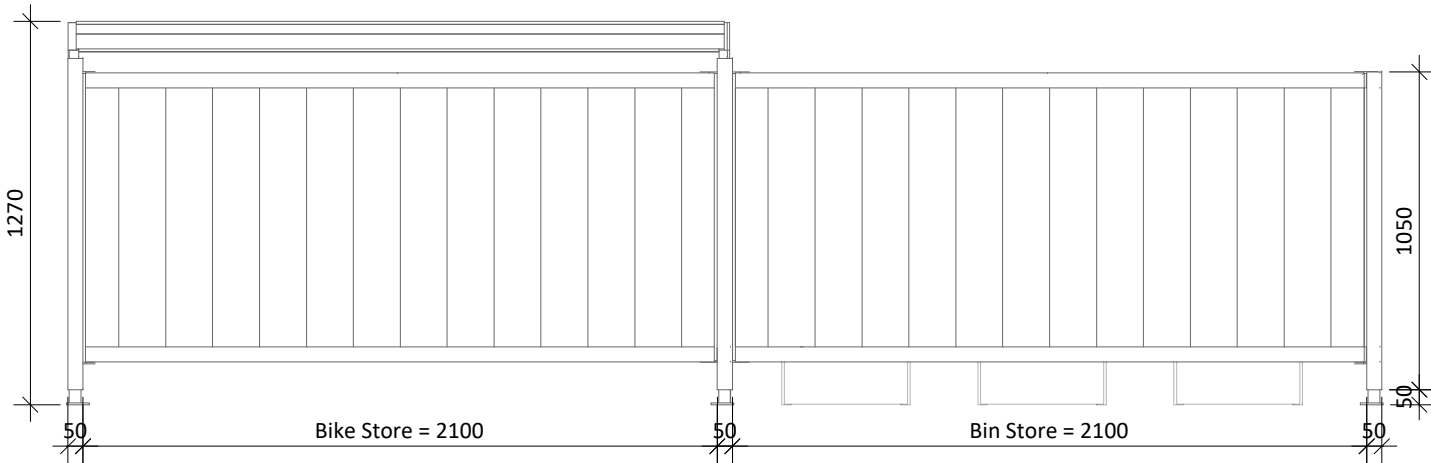
Plan

Scale 1:25@A3



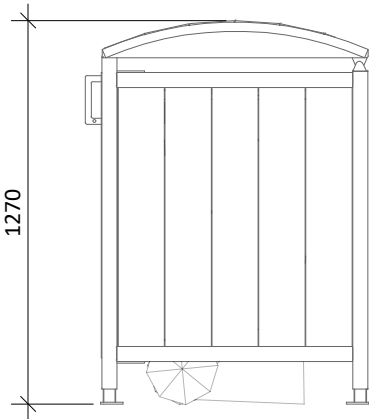
Front Elevation

Scale 1:25@A3



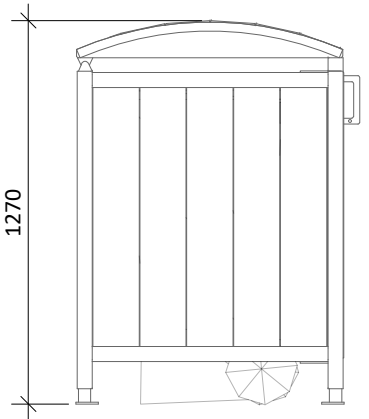
Rear Elevation

Scale 1:25@A3



Side Elevation

Scale 1:25@A3



Side Elevation

Scale 1:25@A3



Key Plan

NTS @ A3

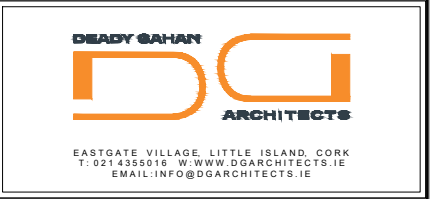
KEY

● BIN & BIKE STORE (4no)

● BIKE STORE ONLY (3no)
(masonry bin store adjacent the entrance door in these locations)

Note: units with direct access to a GF private amenity space can utilise this for bin/bike storage

date	rev	name	chk	note
20.11.23	P1	LM	EJG	ISSUE FOR PLANNING

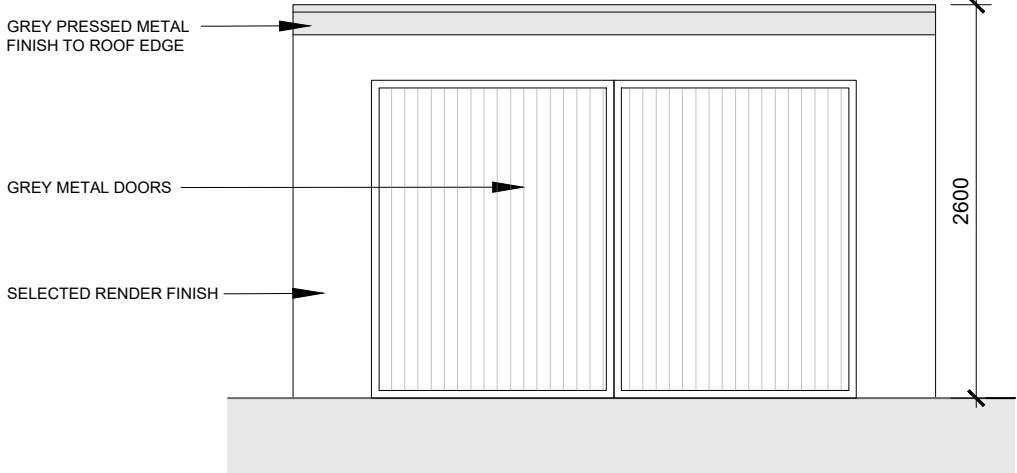


Project
PROPOSED RESIDENTIAL DEVELOPMENT AT
AN TAMHNAIGH, CLONAKILTY,
CO. CORK.

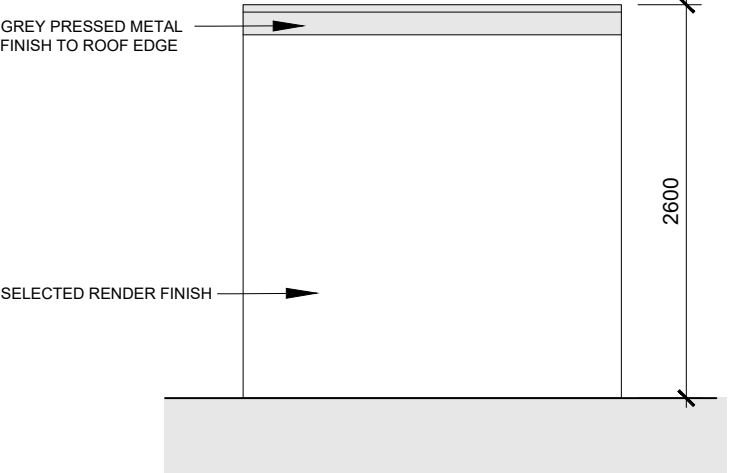
Drawing title			
BIN & BIKE STORE			
Scale 1:25 @ A3	Drawn LM	Checked EJG	Date 02.11.23
Project No. 22040	Dwg. No. 22040/P1/006A	Revision P1	
☐ Information / Comments			☐ Tender
☐ Planning			☐ Construction

BIKE STORE ENCLOSURE (16no bike spaces)

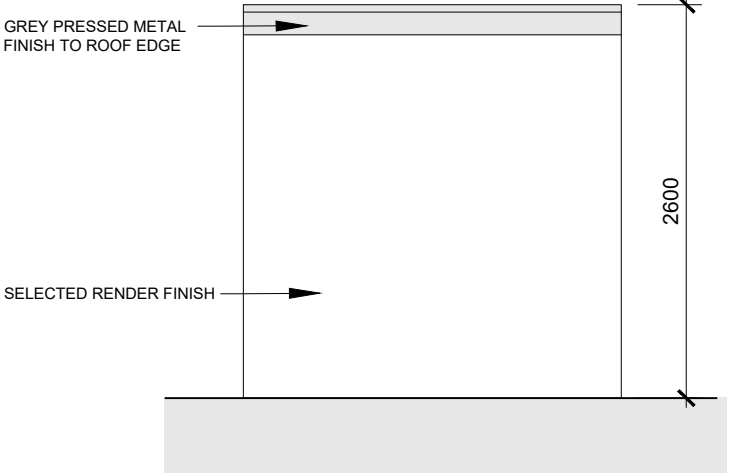
DO NOT SCALE. WORK TO FIGURED DIMENSIONS ONLY.
ALL EXISTING DIMENSIONS TO BE CHECKED ON SITE.
DRAWN ON AUTOCAD R2004 AT DEADY GAHAN ARCHITECTS LTD
LAYERS ON THIS DRAWING COMPLY WITH BS 1192: PART 5



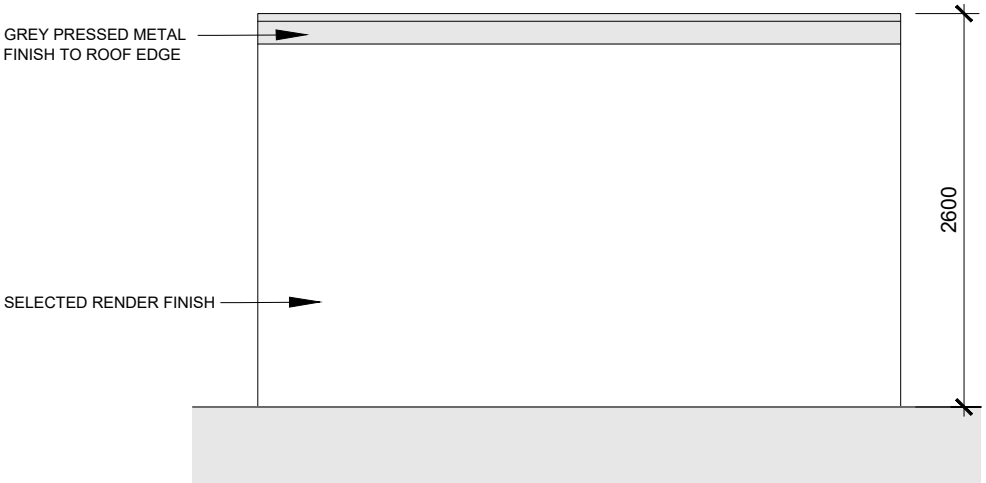
FRONT ELEVATION
SCALE 1:50 @ A3



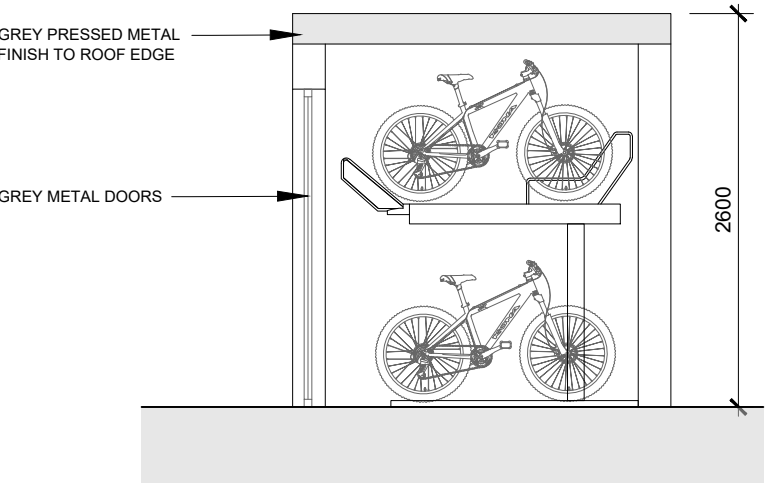
SIDE ELEVATION
SCALE 1:50 @ A3



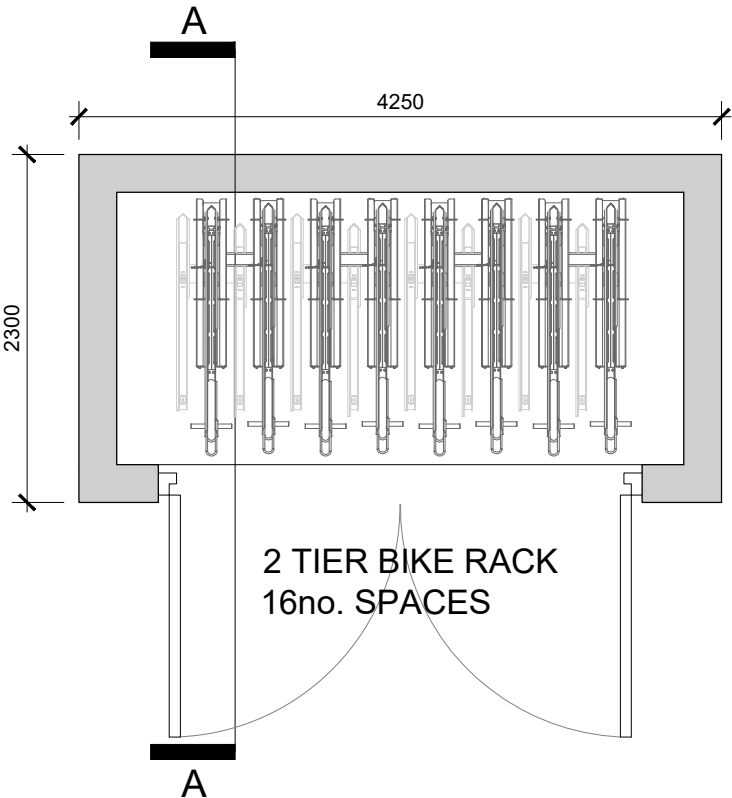
SIDE ELEVATION
SCALE 1:50 @ A3



REAR ELEVATION
SCALE 1:50 @ A3

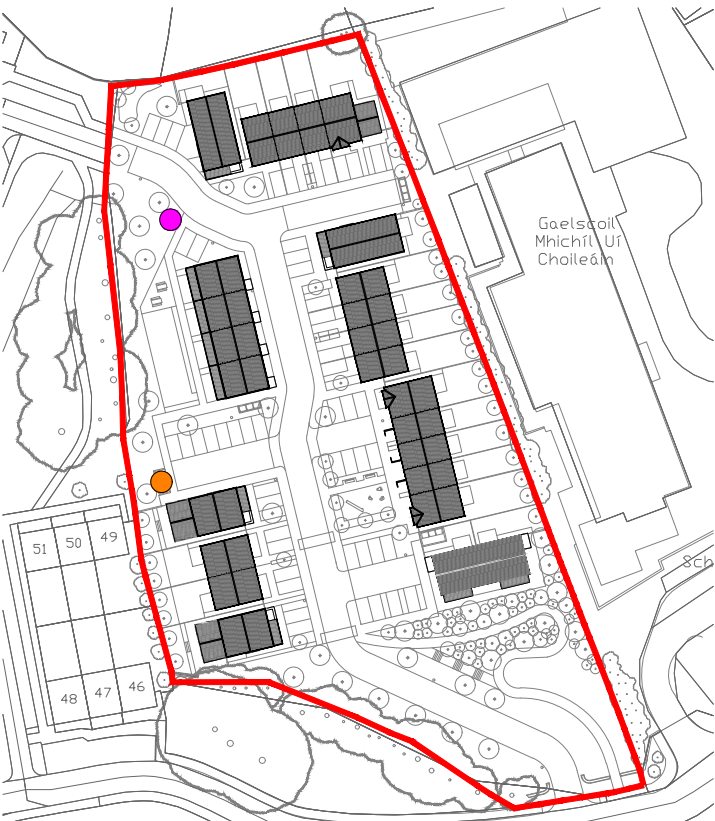


SECTION A-A
SCALE 1:50 @ A3



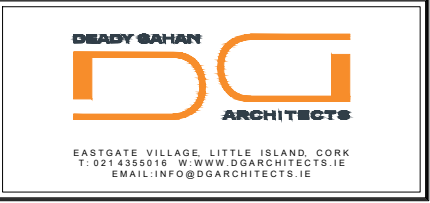
PLAN
SCALE 1:50 @ A3

APARTMENTS BIKE PARKING SCHEDULE	
4no FF 1B apartment units x 1.5 spaces = 6 6no FF 2B apartment units x 2.5 spaces = 15 <i>(these are apartments without direct access to a GF private amenity space for bike storage)</i>	
- 21no. bike spaces required in total	
1	16 no. spaces (In secure enclosure)
2	6 no. visitors spaces (Covered)
TOTAL APARTMENT BIKE PARKING SPACES PROVIDED = 22no.	
**This is in line with the bike parking standards in the 2022 Apartment Guidelines	



Key Plan
NTS @ A3

date	rev	name	chk	note
20.11.23	P1	LM	EJG	ISSUE FOR PLANNING



Project
PROPOSED RESIDENTIAL DEVELOPMENT AT
AN TAMHNAIGH, CLONAKILTY,
CO. CORK.

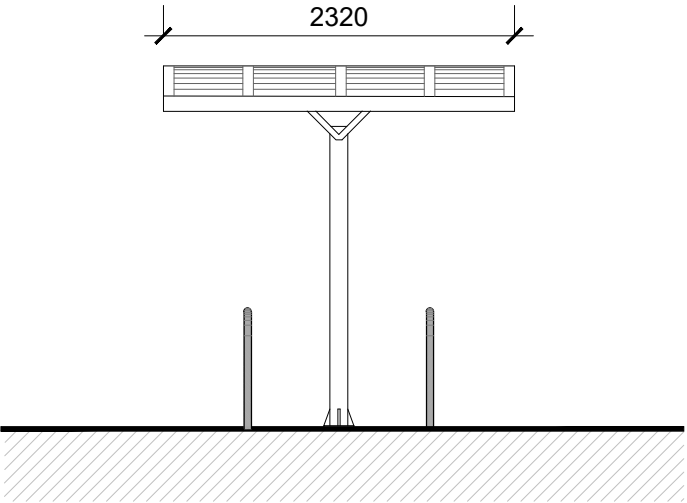
Drawing title
BIKE STORE

Scale 1:50 @ A3	Drawn LM	Checked EJG	Date 02.11.23
Project No. 22040	Dwg. No. 22040/P1/006B	Revision P1	Tender ☐
Information / Comments ☐ Planning	Construction ☐		



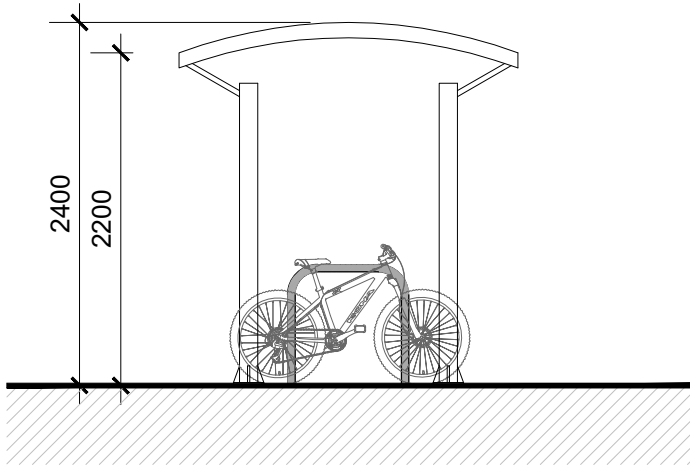
COVERED BIKE RACK (6no visitors spaces)

DO NOT SCALE. WORK TO FIGURED DIMENSIONS ONLY.
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DRAWN ON AUTOCAD R2004 AT DEADY GAHAN ARCHITECTS LTD
LAYERS ON THIS DRAWING COMPLY WITH BS 1192: PART 5



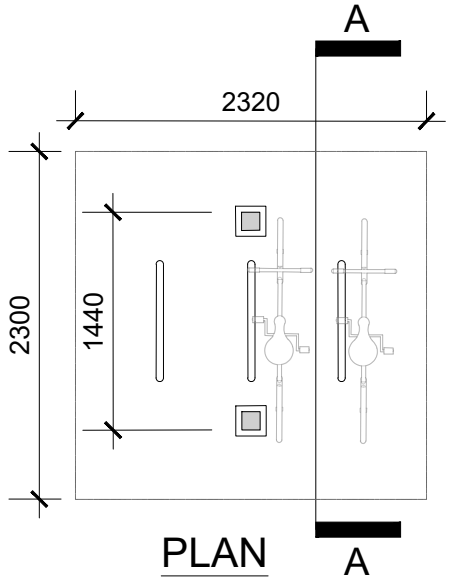
FRONT/REAR ELEVATION

SCALE 1:50 @ A3



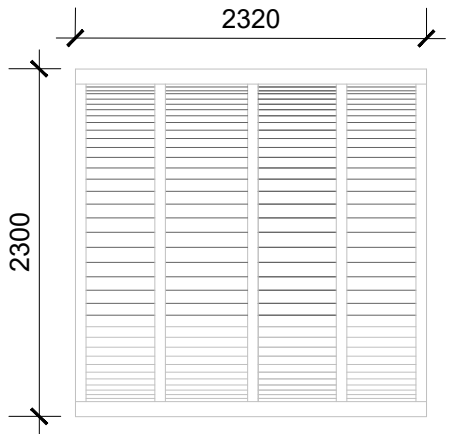
SECTION A-A

SCALE 1:50 @ A3



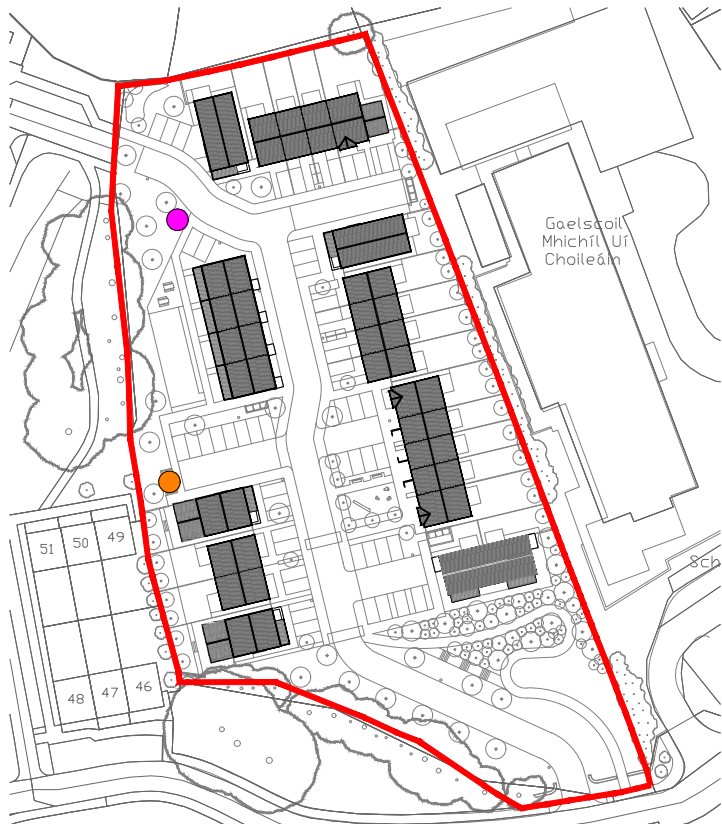
PLAN

SCALE 1:50 @ A3



ROOF PLAN

SCALE 1:50 @ A3



Key Plan

NTS @ A3

APARTMENTS
BIKE PARKING SCHEDULE

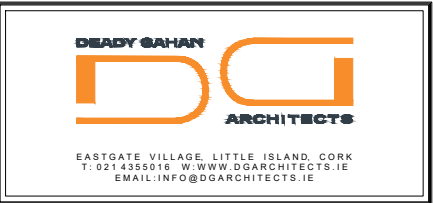
4no FF 1B apartment units x 1.5 spaces = 6
6no FF 2B apartment units x 2.5 spaces = 15
(these are apartments without direct access to a GF private amenity space for bike storage)
- 21no. bike spaces required in total

- 1 16 no. spaces (In secure enclosure)
- 2 6 no. visitors spaces (Covered)

TOTAL APARTMENT BIKE PARKING
SPACES PROVIDED = 22no.

**This is in line with the bike parking standards in
the 2022 Apartment Guidelines

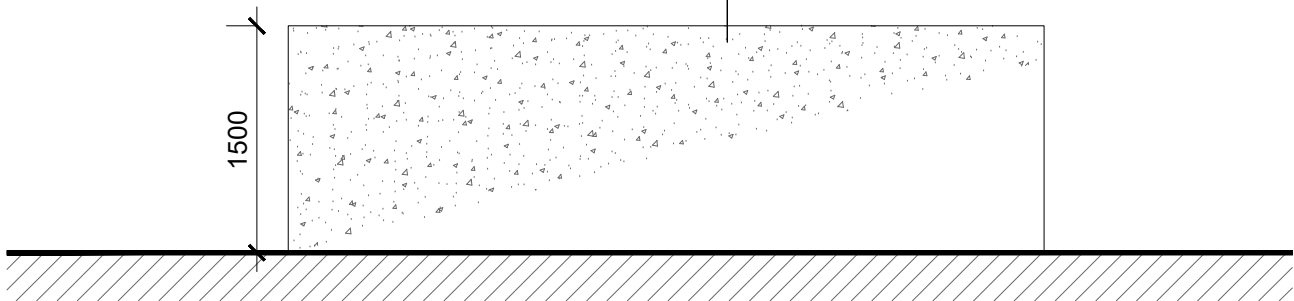
date	rev	name	chk	note
20.11.23	P1	LM	EJG	ISSUE FOR PLANNING



Project
PROPOSED RESIDENTIAL DEVELOPMENT AT
AN TAMHNAIGH, CLONAKILTY,
CO. CORK.

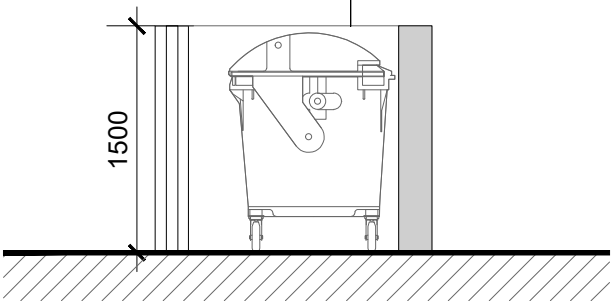
Drawing title BIKE STORE			
Scale 1:50 @ A3	Drawn LM	Checked EJG	Date 02.11.23
Project No. 22040	Dwg. No. 22040/P1/006C	Revision P1	
☐ Information / Comments		☐ Tender	
☒ Planning		☐ Construction	

CONCRETE BLOCK WALL
WITH SMOOTH PLASTER FINISH



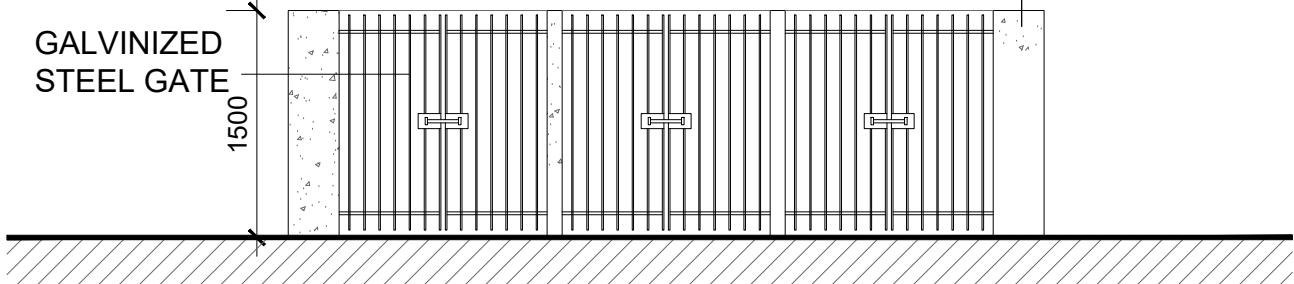
REAR ELEVATION
Scale 1:50

CONCRETE BLOCK WALL
WITH SMOOTH PLASTER FINISH



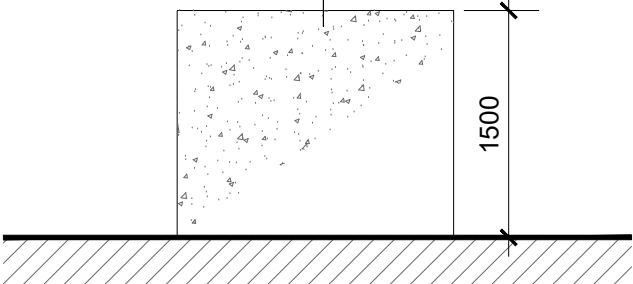
SECTION A-A
Scale 1:50

CONCRETE BLOCK WALL
WITH SMOOTH PLASTER FINISH

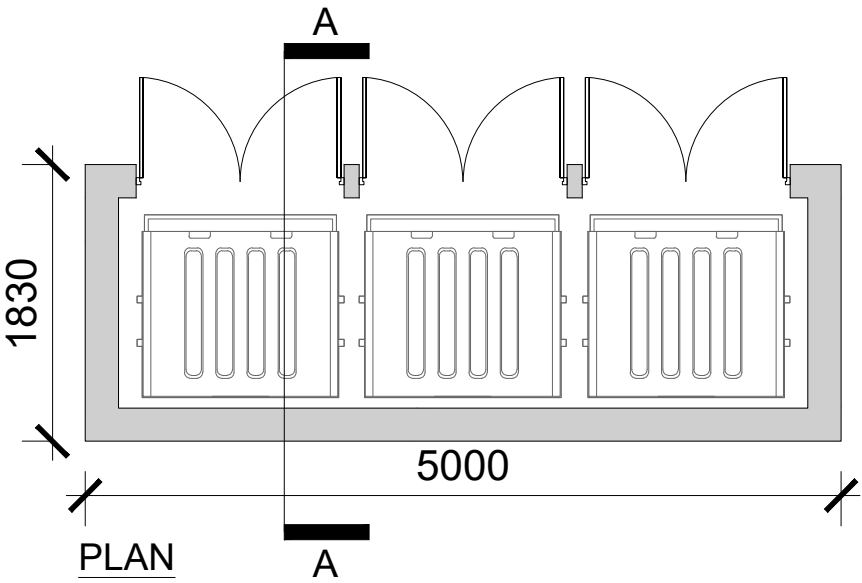


FRONT ELEVATION
Scale 1:50

CONCRETE BLOCK WALL
WITH SMOOTH PLASTER FINISH

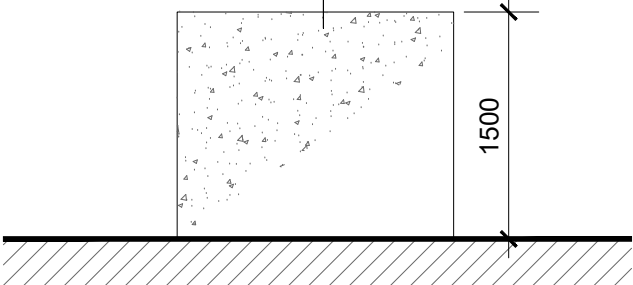


SIDE ELEVATION
Scale 1:50

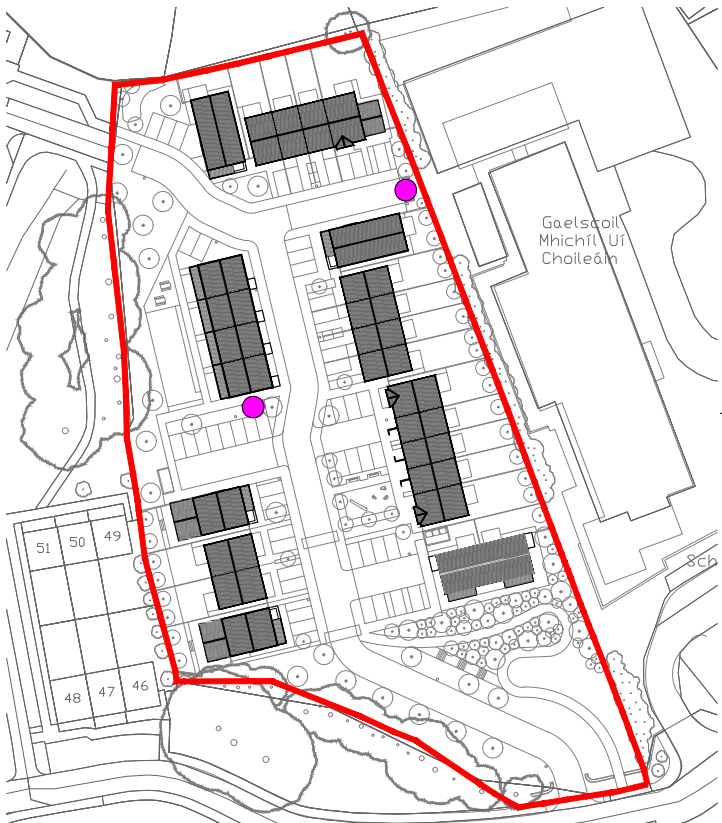


PLAN
Scale 1:50

CONCRETE BLOCK WALL
WITH SMOOTH PLASTER FINISH



SIDE ELEVATION
Scale 1:50



Key Plan
NTS @ A3

date	rev	name	chk	note
20.11.23	P1	LM	EJG	ISSUE FOR PLANNING



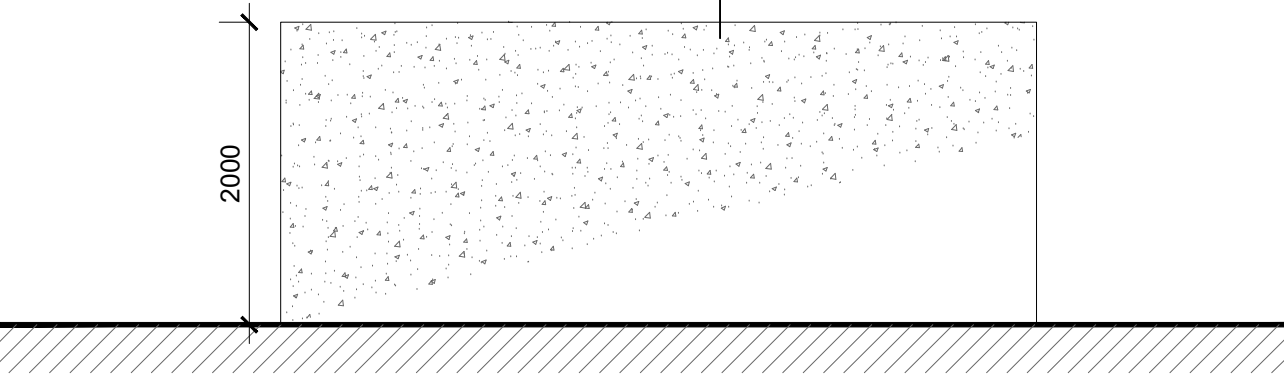
Project
PROPOSED RESIDENTIAL DEVELOPMENT AT
AN TAMHNAIGH, CLONAKILTY,
CO. CORK.

Drawing title
BIN STORE

Scale 1:50 @ A3	Drawn LM	Checked EJG	Date 02.11.23
Project No. 22040	Dwg. No. 22040/P1/006D	Revision P1	Tender ☐
Information / Comments ☐ Planning			Construction ☐

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DRAWN ON AUTOCAD R2004 AT DEADY GAHAN ARCHITECTS LTD
LAYERS ON THIS DRAWING COMPLY WITH BS 1192: PART 5

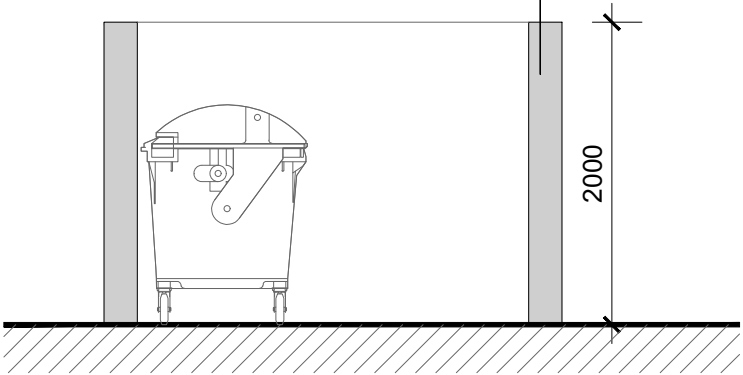
CONCRETE BLOCK WALL WITH SMOOTH
PLASTER FINISH WHERE REQUIRED



REAR ELEVATION

Scale 1:50

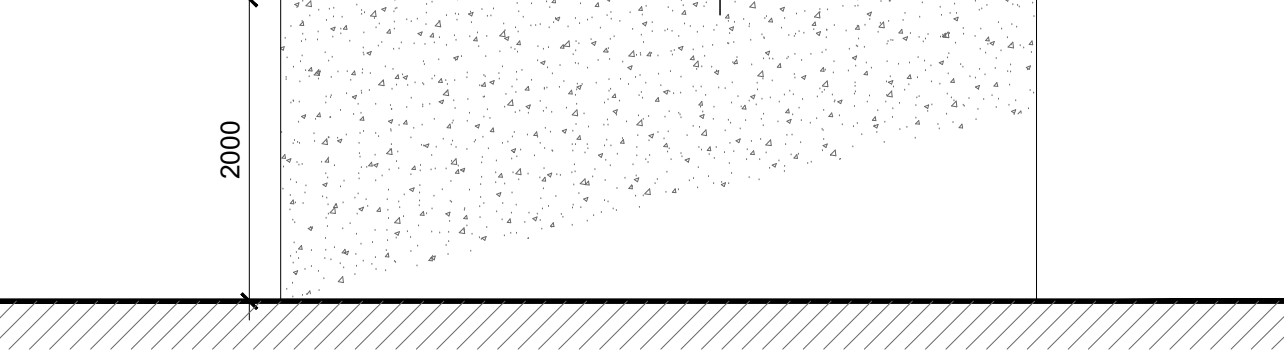
CONCRETE BLOCK WALL WITH SMOOTH
PLASTER FINISH WHERE REQUIRED



SECTION A-A

Scale 1:50

CONCRETE BLOCK WALL WITH SMOOTH
PLASTER FINISH WHERE REQUIRED

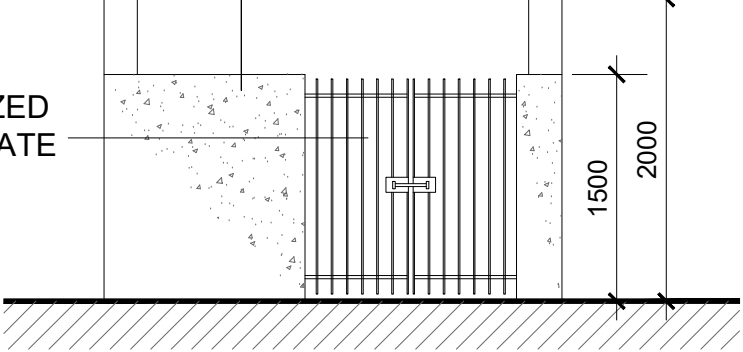


FRONT ELEVATION

Scale 1:50

CONCRETE BLOCK WALL
WITH SMOOTH PLASTER FINISH

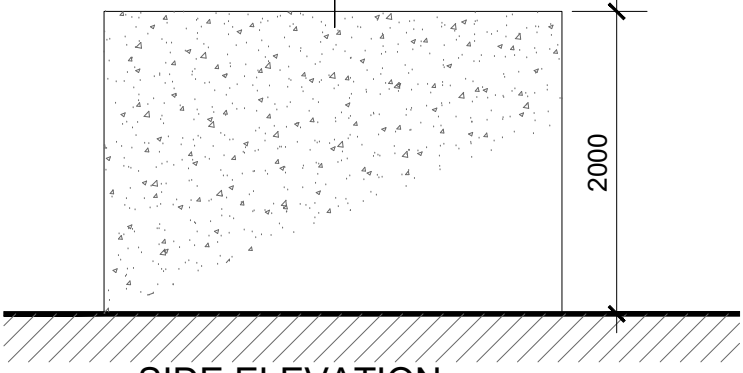
GALVINIZED
STEEL GATE



SIDE ELEVATION

Scale 1:50

CONCRETE BLOCK WALL WITH SMOOTH
PLASTER FINISH WHERE REQUIRED

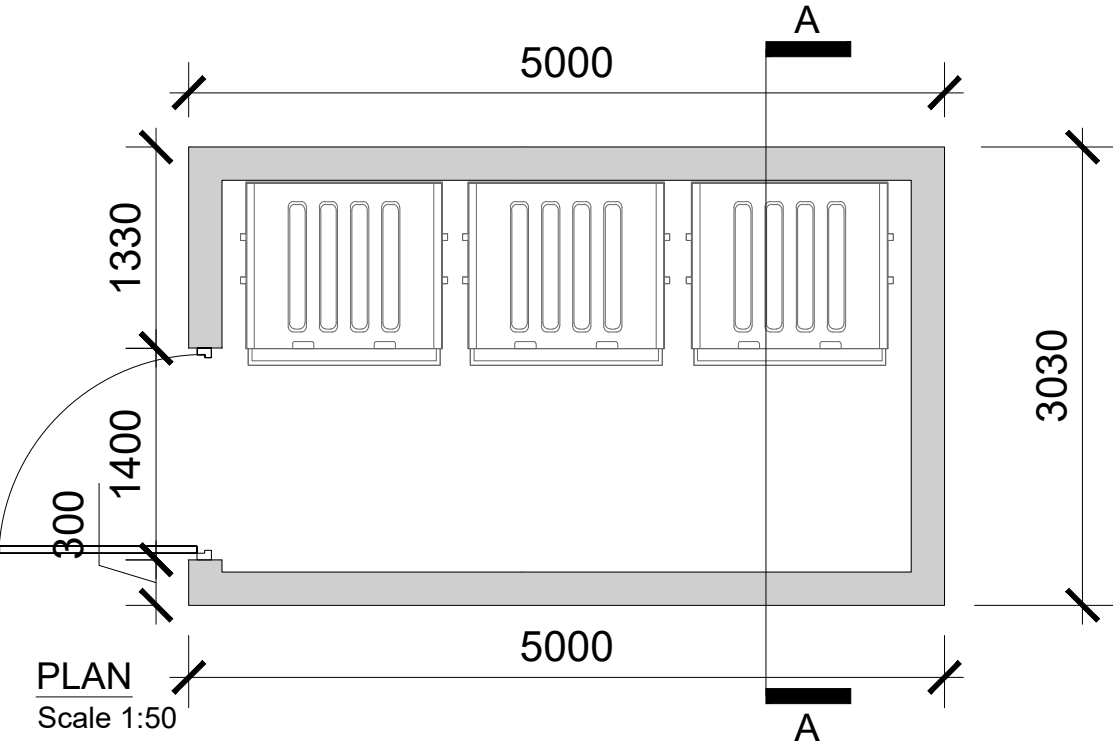


SIDE ELEVATION

Scale 1:50



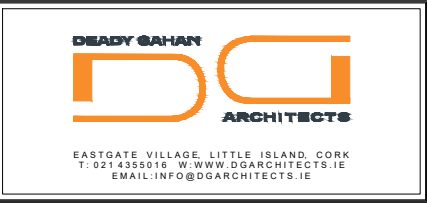
Key Plan
NTS @ A3



PLAN

Scale 1:50

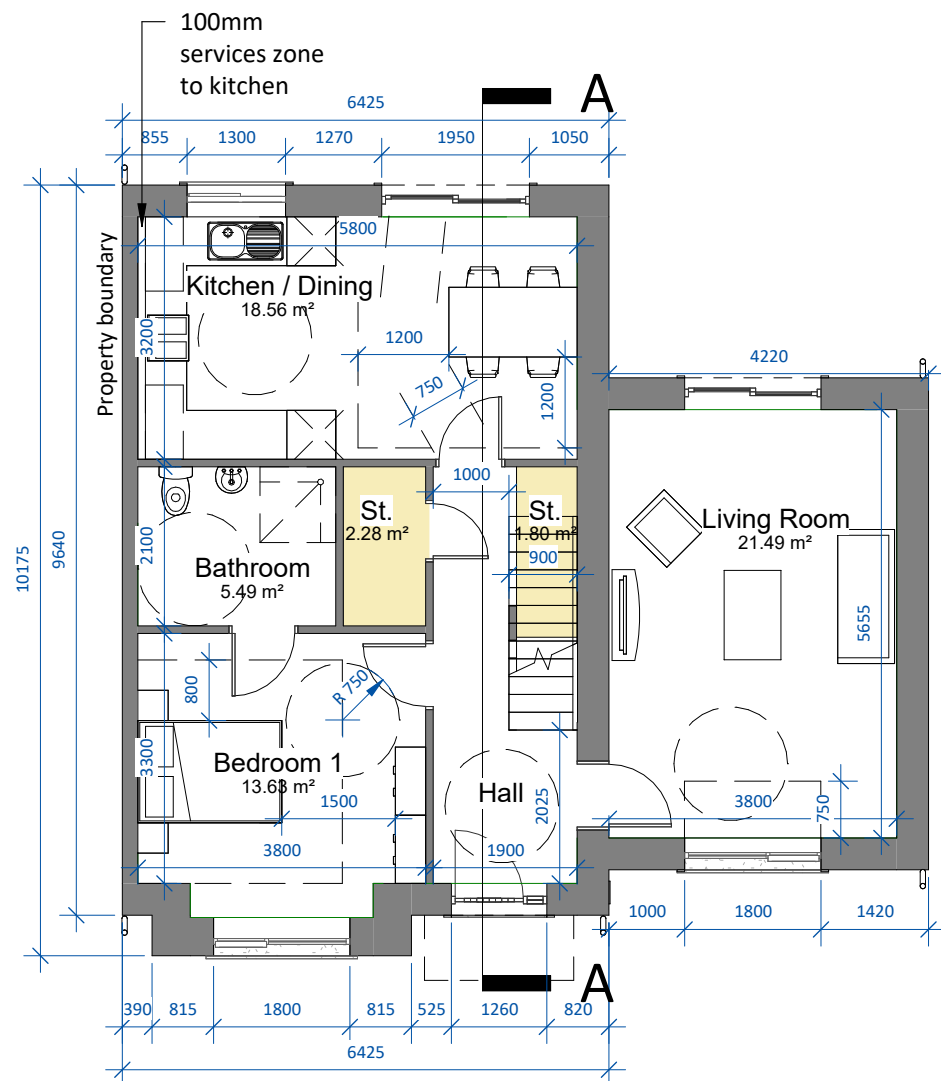
date	rev	name	chk	note
20.11.23	P1	LM	EJG	ISSUE FOR PLANNING



Project
PROPOSED RESIDENTIAL DEVELOPMENT AT
AN TAMHNAIGH, CLONAKILTY,
CO. CORK.

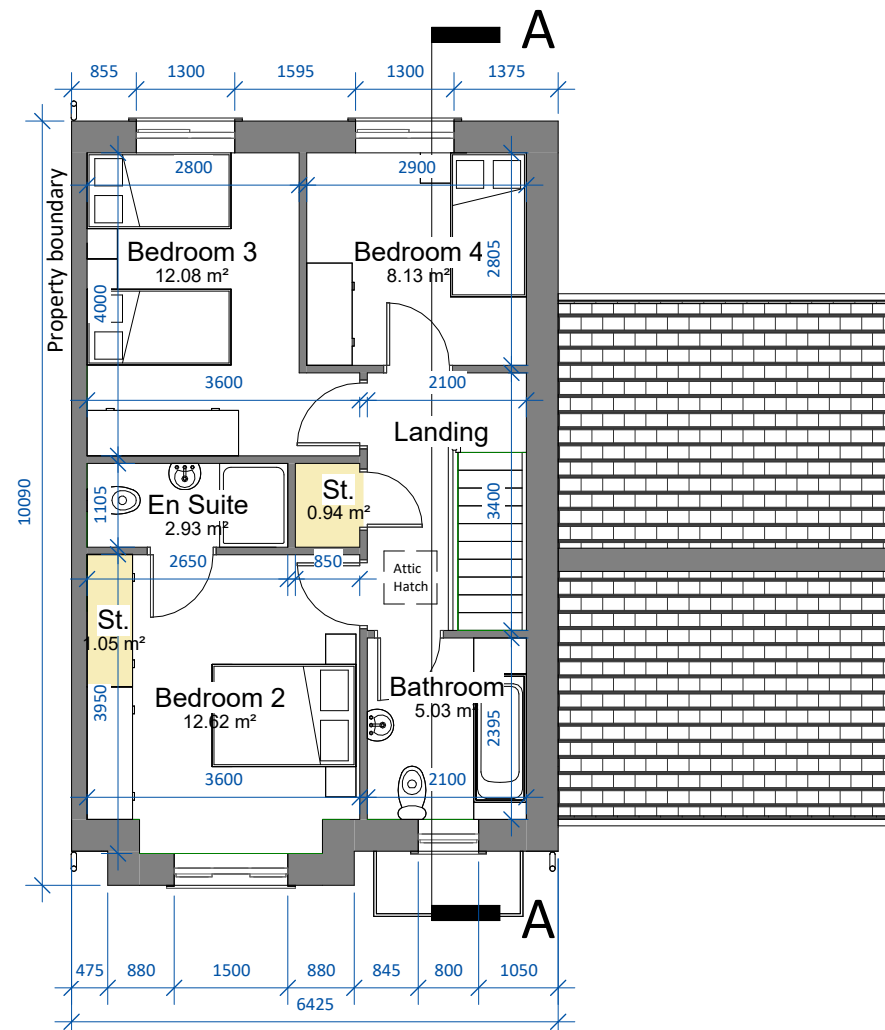
Drawing title
BIN STORE

Scale 1:50 @ A3	Drawn LM	Checked EJG	Date 02.11.23
Project No. 22040	Dwg. No. 22040/P1/006E	Revision P1	Tender ☐
Information / Comments ☒ Planning			Construction ☐



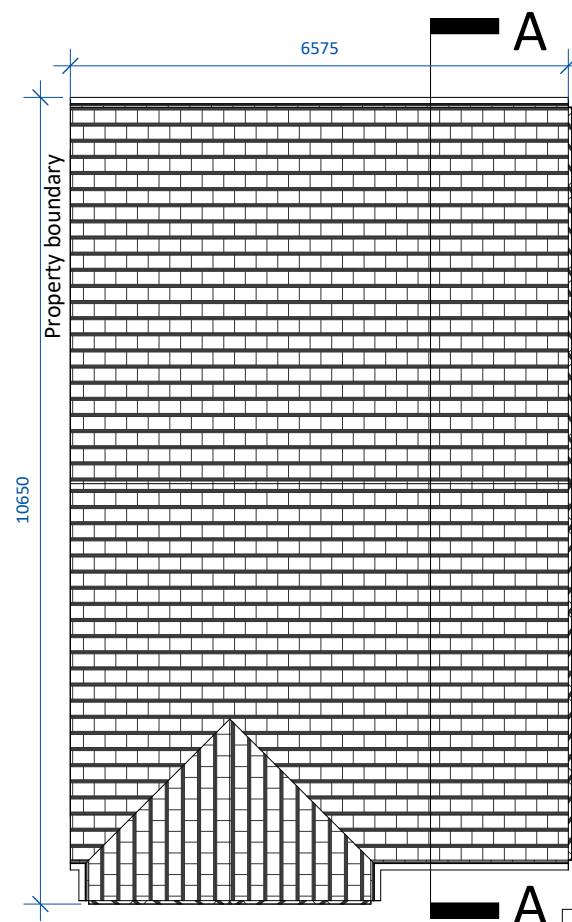
00 Ground Floor Plan

SCALE 1 : 100



01 First Floor Plan

SCALE 1 : 100



02 Attic Level

SCALE 1 : 100

Area Schedule

Name	Area
------	------

Ground Floor Plan	69.43 m ²
-------------------	----------------------

First Floor Plan	52.13 m ²
------------------	----------------------

121.56 m²

date	rev	name	chk	note
31.07.23	P1	MP	EJG	ISSUE FOR PLANNING



EASTGATE VILLAGE, LITTLE ISLAND, CORK
T: 021 4355016 W: WWW.DGARCHITECTS.IE
EMAIL: INFO@DGARCHITECTS.IE

Project
Proposed Residential Development
An Tammhnaigh, Clonakilty,
Co Cork

Drawing title
Unit Type A1_4-Bed Housetype, Floor Plans

Scale	Drawn	Checked	Date
1 : 100 @ A3	MP	EJG	15/02/23

Project No.	Drp. No.	Revision
22040	22040 / P / 101	P1

☐ Information \ Comments	☐ Tender
☒ Planning	☐ Construction

Note: See Site Plan 22040/P/003 for orientation and FFL.

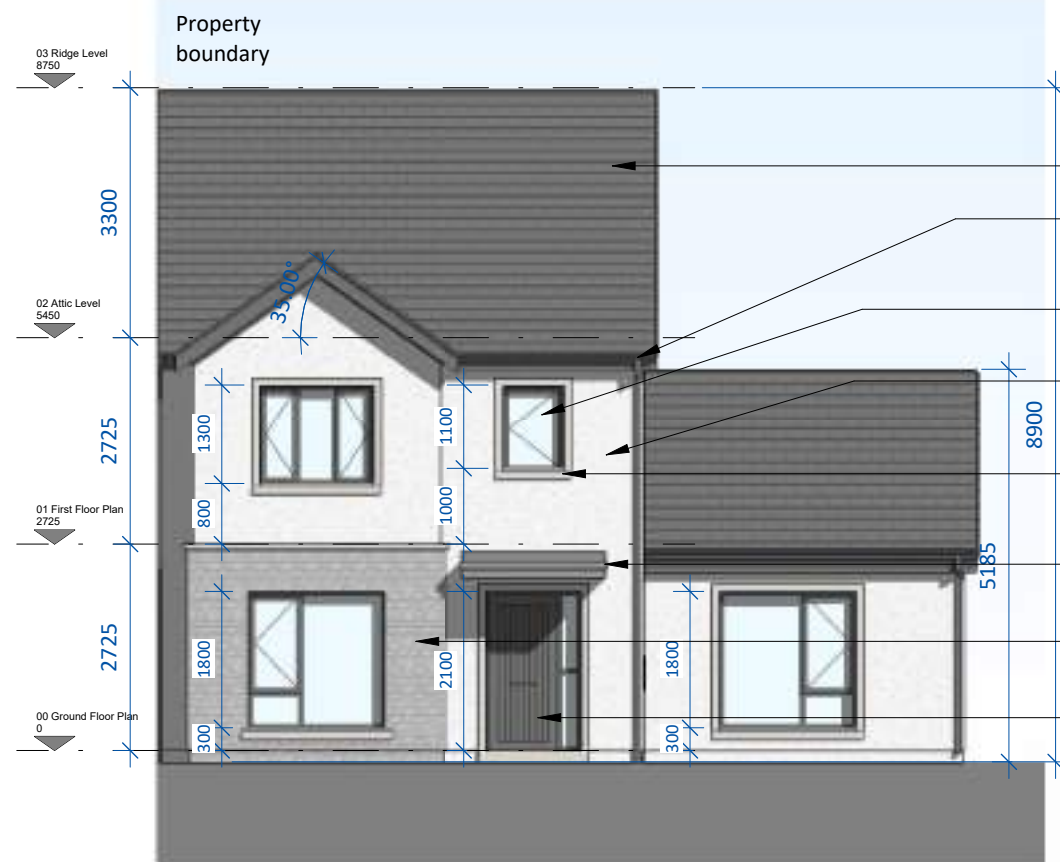
UNIT TYPE A1; 4 BED HOUSE (Accessible GF)

4-bed semi d. (7 person)

AREA: 121.56 SQ.M

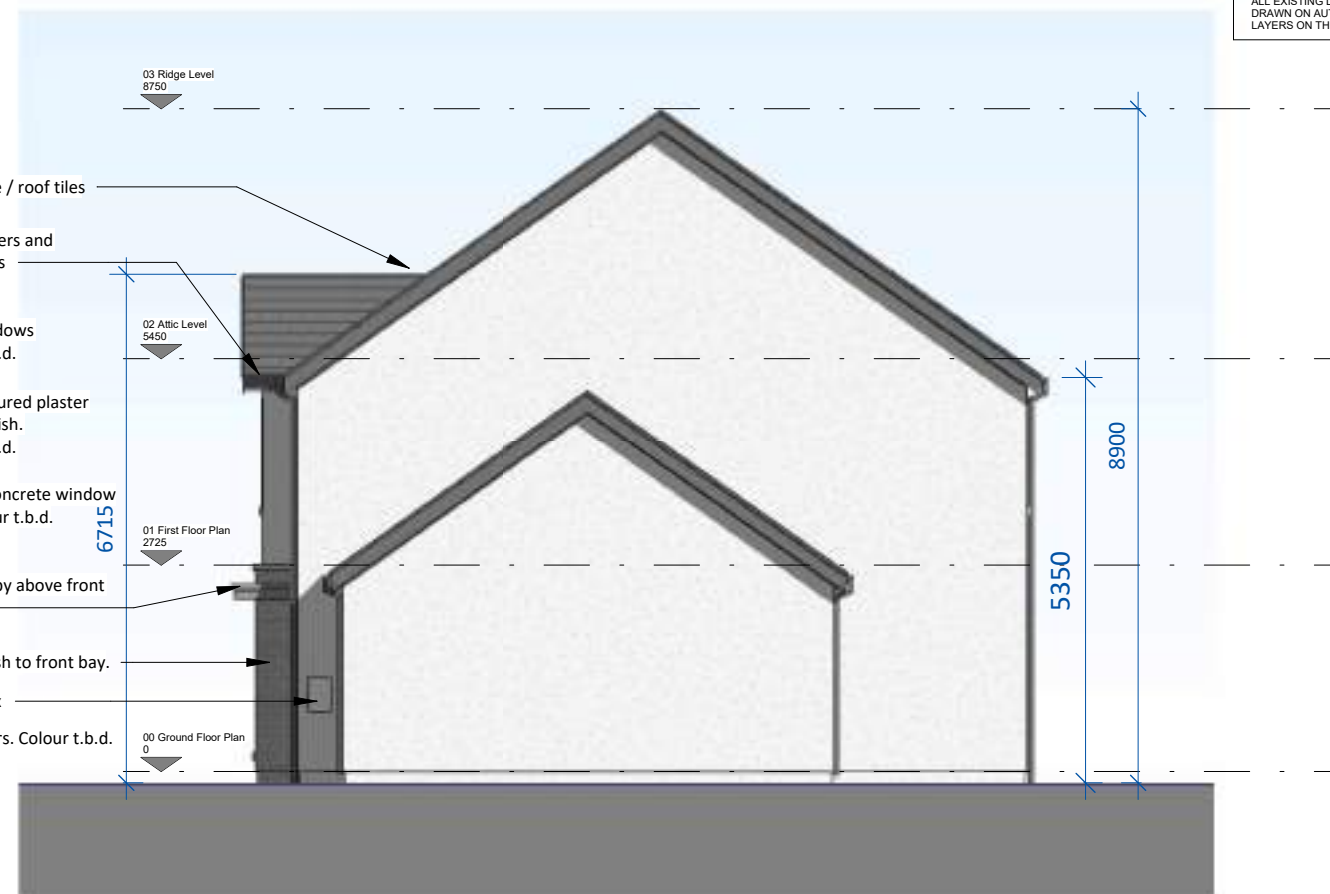
 STORAGE tot. 6.07sq.m

DO NOT SCALE. WORK TO FIGURED DIMENSIONS ONLY.
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DRAWN ON AUTOCAD R2004 AT DEADY GAHAN ARCHITECTS LTD
LAYERS ON THIS DRAWING COMPLY WITH BS 1192: PART 5



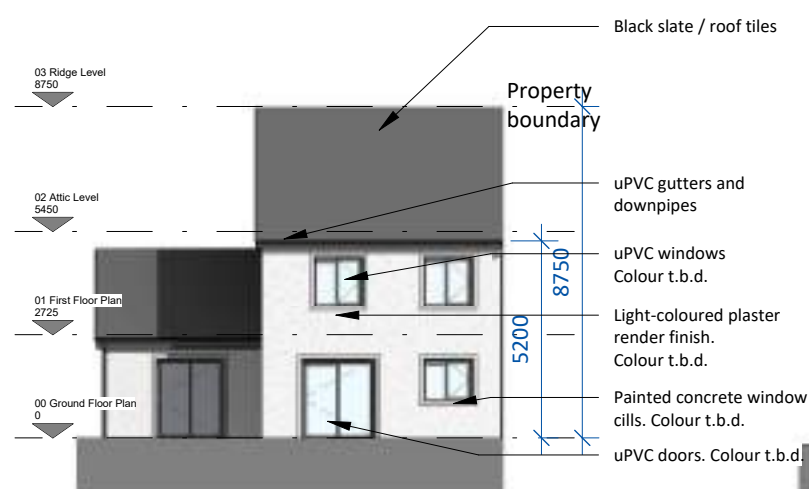
Front Elevation

SCALE 1 : 100



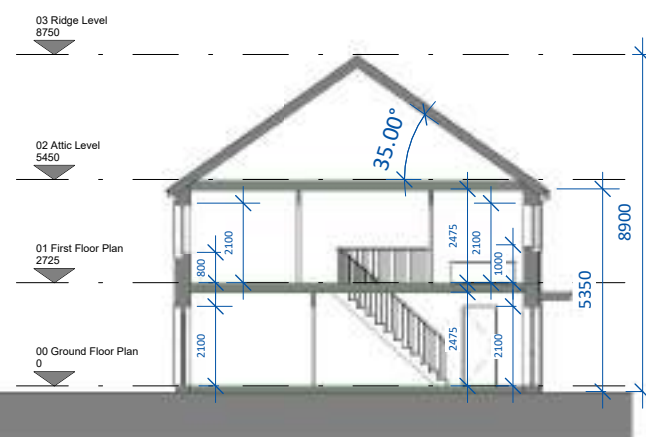
Side Elevation

SCALE 1 : 100



Rear Elevation

SCALE 1 : 200



Section A-A

SCALE 1 : 200



Perspective View

date	rev	name	chk	note
31.07.23	P1	MP	EJG	ISSUE FOR PLANNING



EASTGATE VILLAGE, LITTLE ISLAND, CORK
T: 021 4355016 W: WWW.DGARCHITECTS.IE
EMAIL: INFO@DGARCHITECTS.IE

Project
Proposed Residential Development
An Tamhnaigh, Clonakilty,
Co Cork

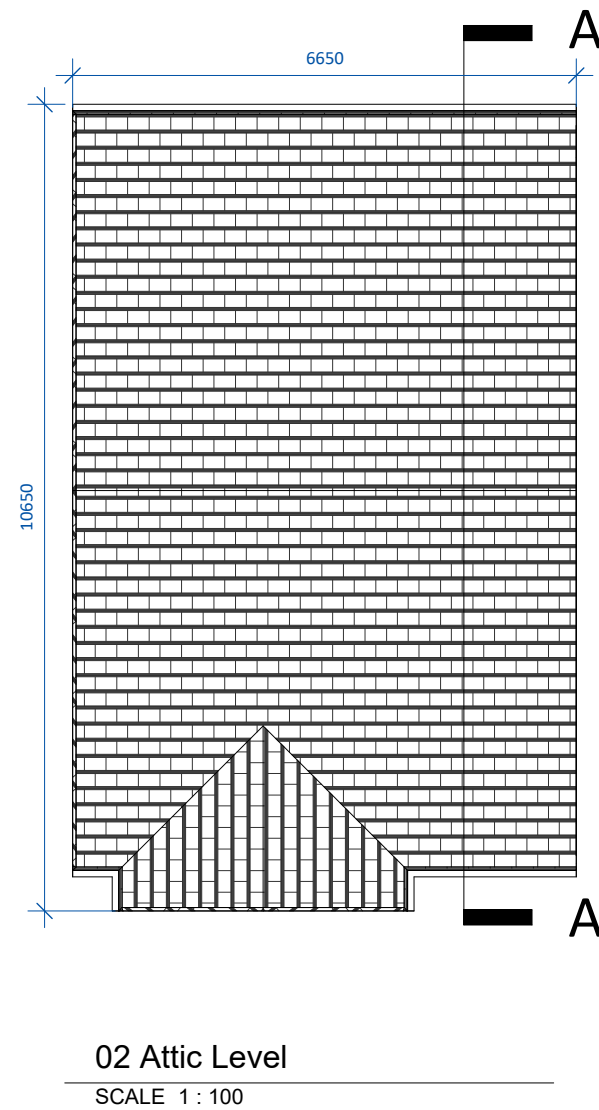
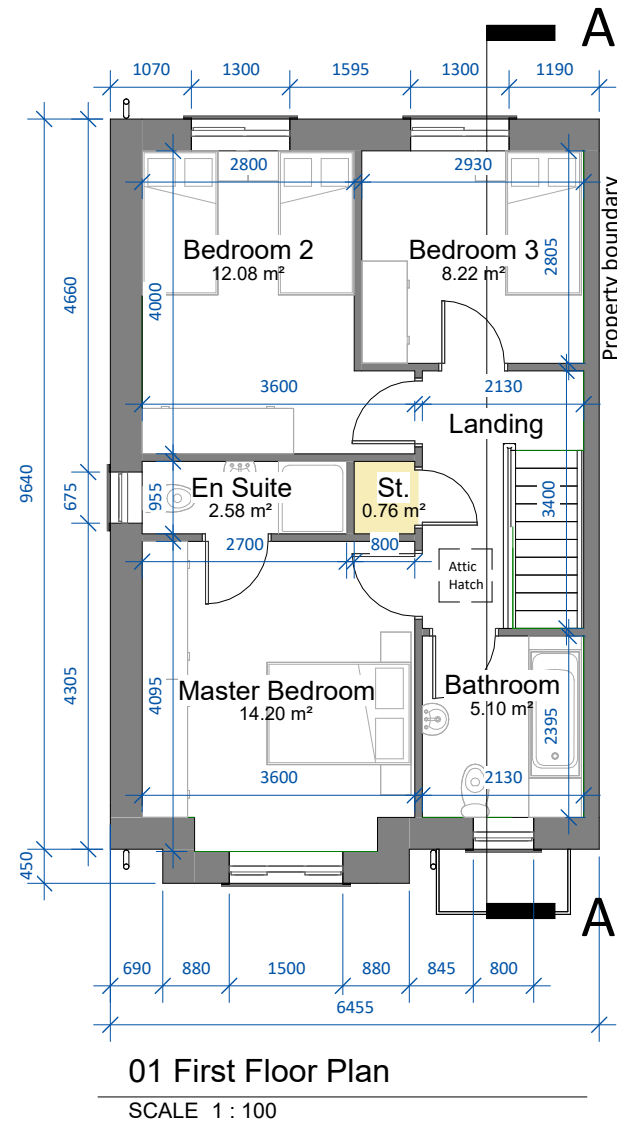
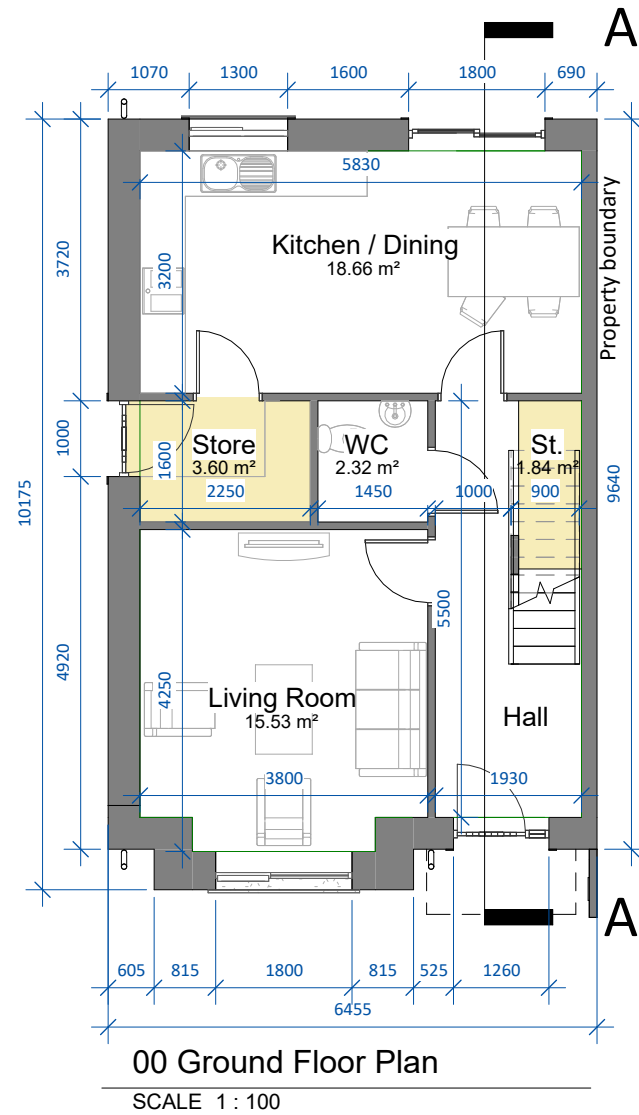
Drawing title

Unit Type A1_4 Bed Housetype, Elevations and Section

Scale	Drawn	Checked	Date
As indicated @ A3 MP		EJG	28/02/23

Project No. 22040	Drg. No. 22040 / P / 102	Revision P1
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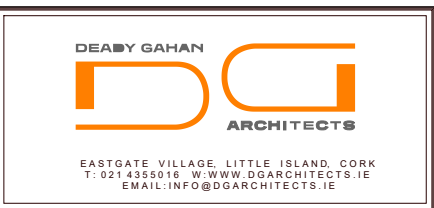
☐	Information \ Comments	Tender	☐
☒	Planning	Construction	☐



Area Schedule

Name	Area
Ground Floor Plan	52.127 m²
First Floor Plan	52.127 m²
	104.254 m²

date	rev	name	chk	note
22.11.23	P1	MP	EJG	ISSUE FOR PLANNING



Project
Proposed Residential Development
An Tammhnaigh, Clonakilty,
Co Cork

Drawing title
Unit Type B1_3-Bed Housetype, Floor Plans

Scale 1 : 100 @ A3	Drawn MP	Checked EJG	Date 28/02/23
Project No. 22040	Drp. No. 22040 / P / 201	Revision P1	

☐ Information \ Comments	☐ Tender
☒ Planning	☐ Construction

Note: Position of north point and levels vary.
See Site Plan 22040/P/003 for orientation and F.F.L.

UNIT TYPE B1; 3 BED HOUSE-TYPE

3-bed semi d. (5 person)

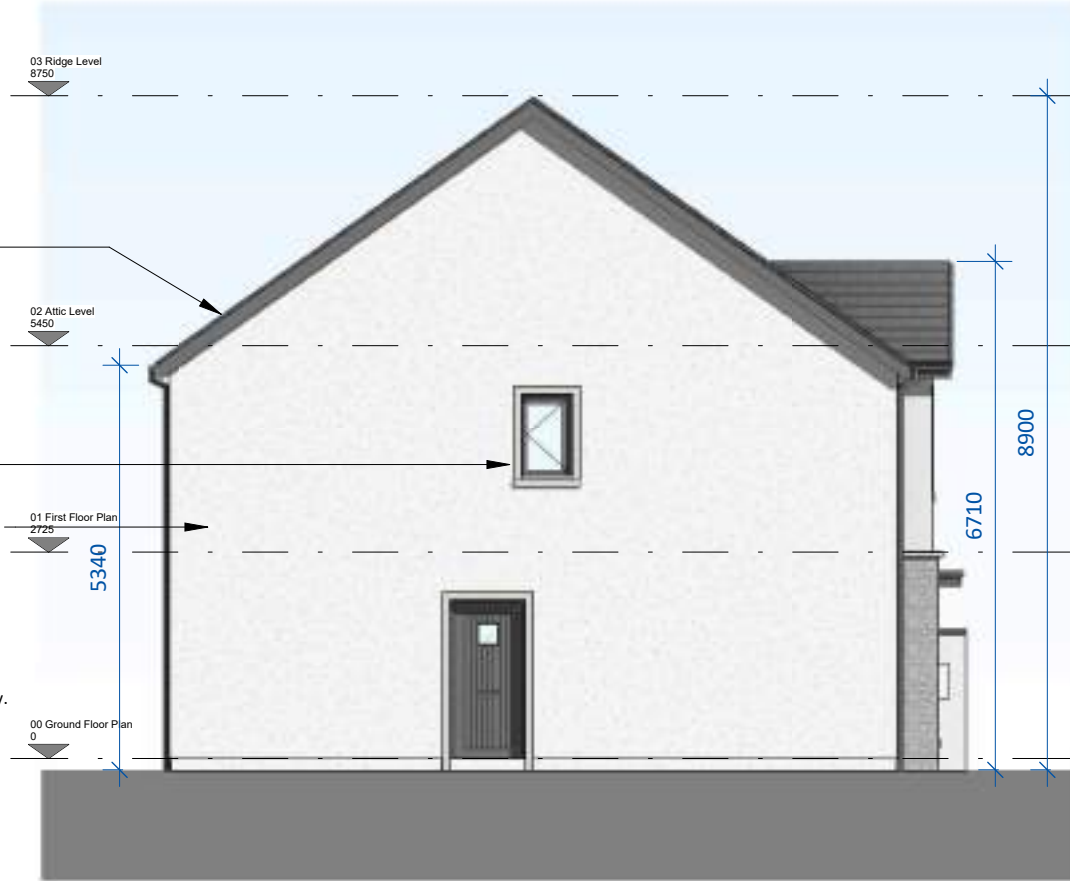
AREA: 104.25 SQ.M

STORAGE tot. 6.20sq.m



Front Elevation

SCALE 1 : 100

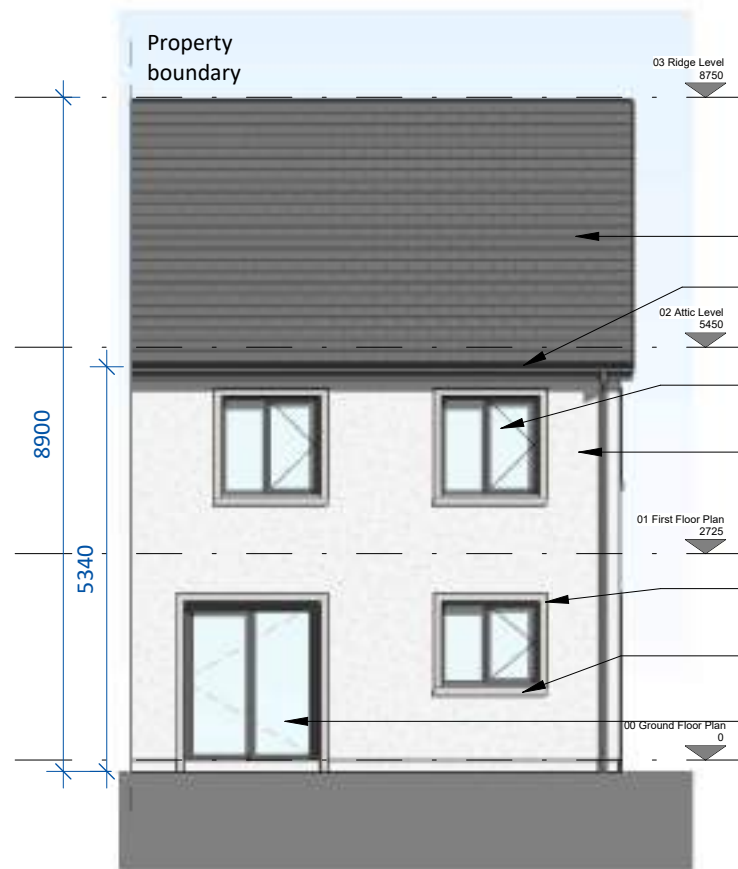


Side Elevation

SCALE 1 : 100

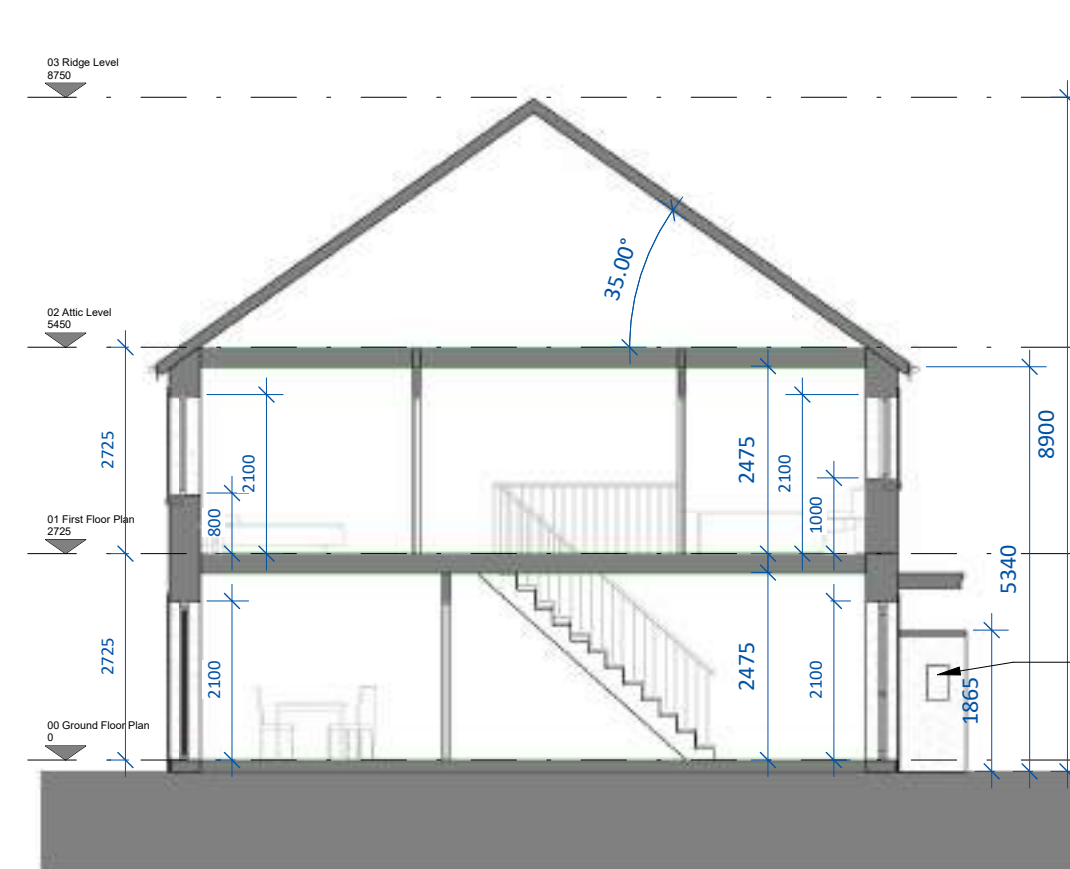


Perspective View



Rear Elevation

SCALE 1 : 100

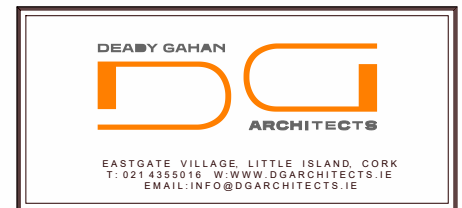


Section A-A

SCALE 1 : 100

Gossip wall between
terraced units. Meter
boxes indicative

date	rev	name	chk	note
22.11.23	P1	MP	EJG	ISSUE FOR PLANNING



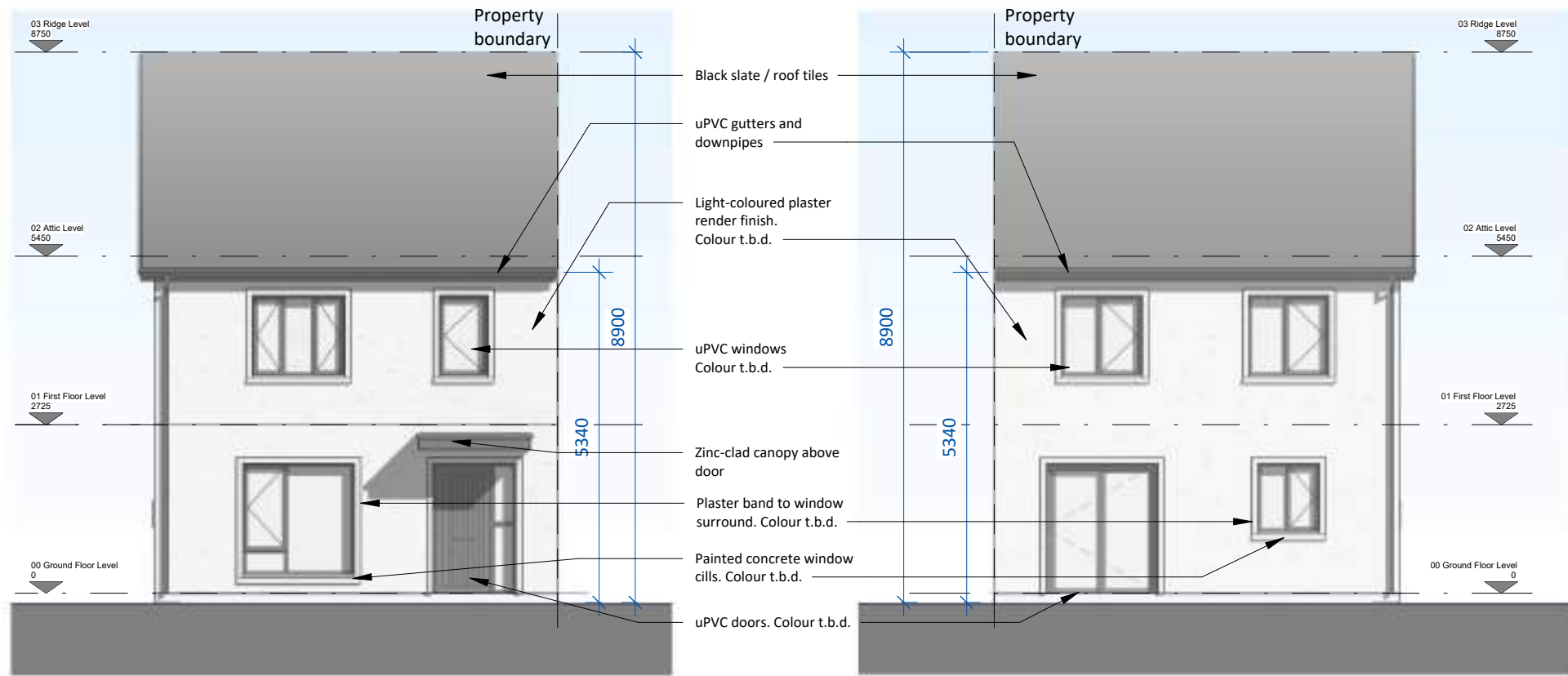
Project
Proposed Residential Development
An Tammhnaigh, Clonakilly,
Co Cork

Drawing title
Unit Type B1_3 Bed Housetype, Elevations and Section

Scale 1 : 100 @ A3	Drawn MP	Checked EJG	Date 28/02/23
Project No. 22040	Drp. No. 22040 / P / 202	Revision P1	

☐ Information \ Comments	☐ Tender
☐ Planning	☐ Construction

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LAYERS ON THIS DRAWING COMPLY WITH BS 1192: PART 5



Front Elevation

SCALE 1 : 100

Rear Elevation

SCALE 1 : 100



Perspective Image

Area Schedule (Gross Building) Copy 1

Name	Area
------	------

0 Ground Floor Plan	52.05 m ²
---------------------	----------------------

1 First Floor Plan	52.05 m ²
--------------------	----------------------

Note: Position of north point and levels vary.
See Site Plan 22040/P/003 for orientation and F.F.L.

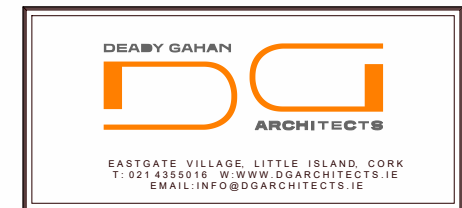
UNIT TYPE B2

3-bed house (5 person)

AREA: 104.1 SQ.M

STORAGE tot. 6.12sq.m

date	rev	name	chk	note
31.07.23	P1	MP	EJG	ISSUE FOR PLANNING



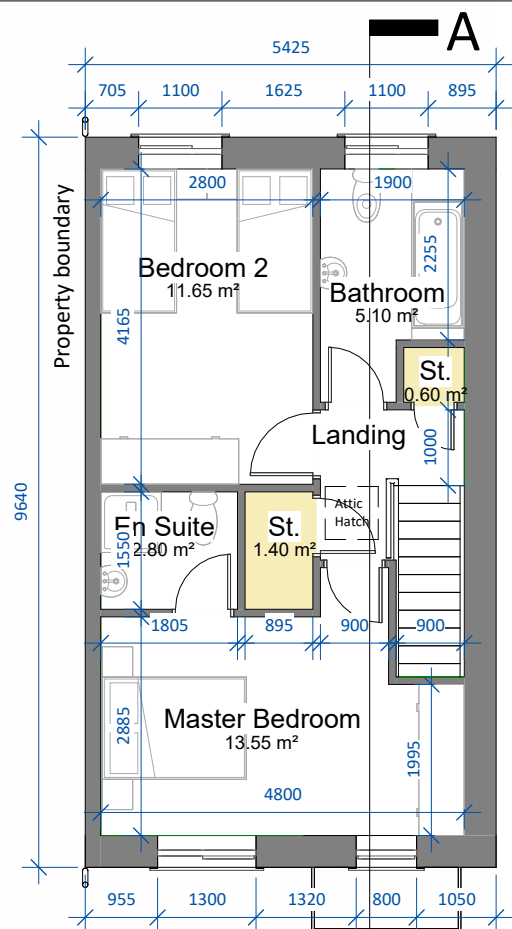
Project
Proposed residential development
At An Tamhnaigh
Clonakilty, Co Cork

Drawing title
Unit Types B2, Plans, Elevations and Section A-A

Scale	Drawn	Checked	Date
As indicated @ A3	MP	EJG	24/02/23

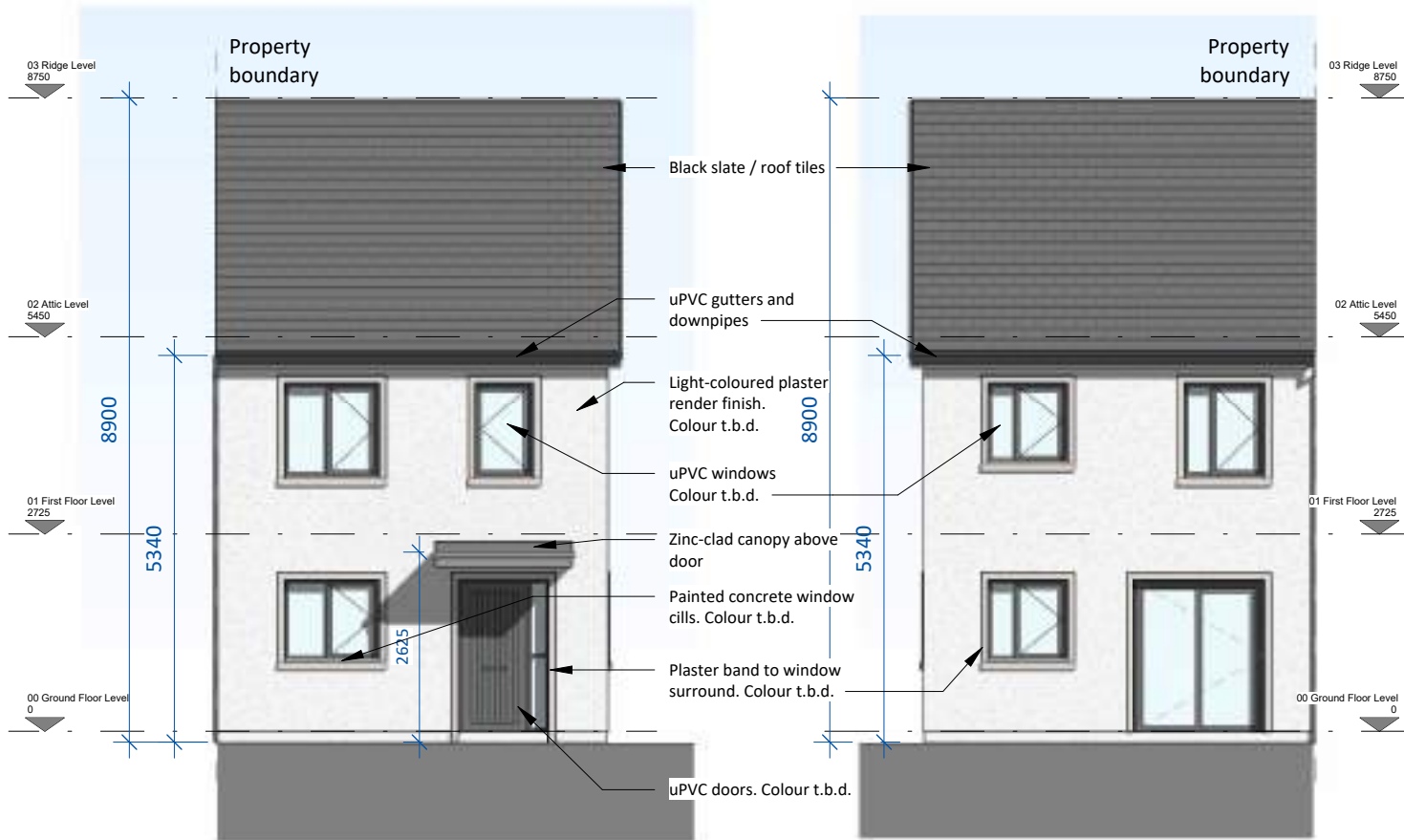
Project No.	Drp. No.	Revision
22040	22040-P-203	P1

☐ Information \ Comments	☐ Tender
☒ Planning	☐ Construction



01 First Floor Level

SCALE 1 : 100



Front Elevation

SCALE 1 : 100

Rear Elevation

SCALE 1 : 100



Perspective View

Area Schedule

Name	Area
Ground Floor Plan	42.25 m²
First Floor Plan	42.25 m²
	84.50 m²

Note: Position of north point and levels vary.
See Site Plan 22040/P/003 for orientation and F.F.L.

2 BED HOUSE-TYPE - C1

2-bed mid-terrace. (4 person)

AREA: 84.5 SQ.M

STORAGE tot. 4sq.m

date	rev	name	chk	note
31.07.23	P1	MP	EJG	ISSUE FOR PLANNING



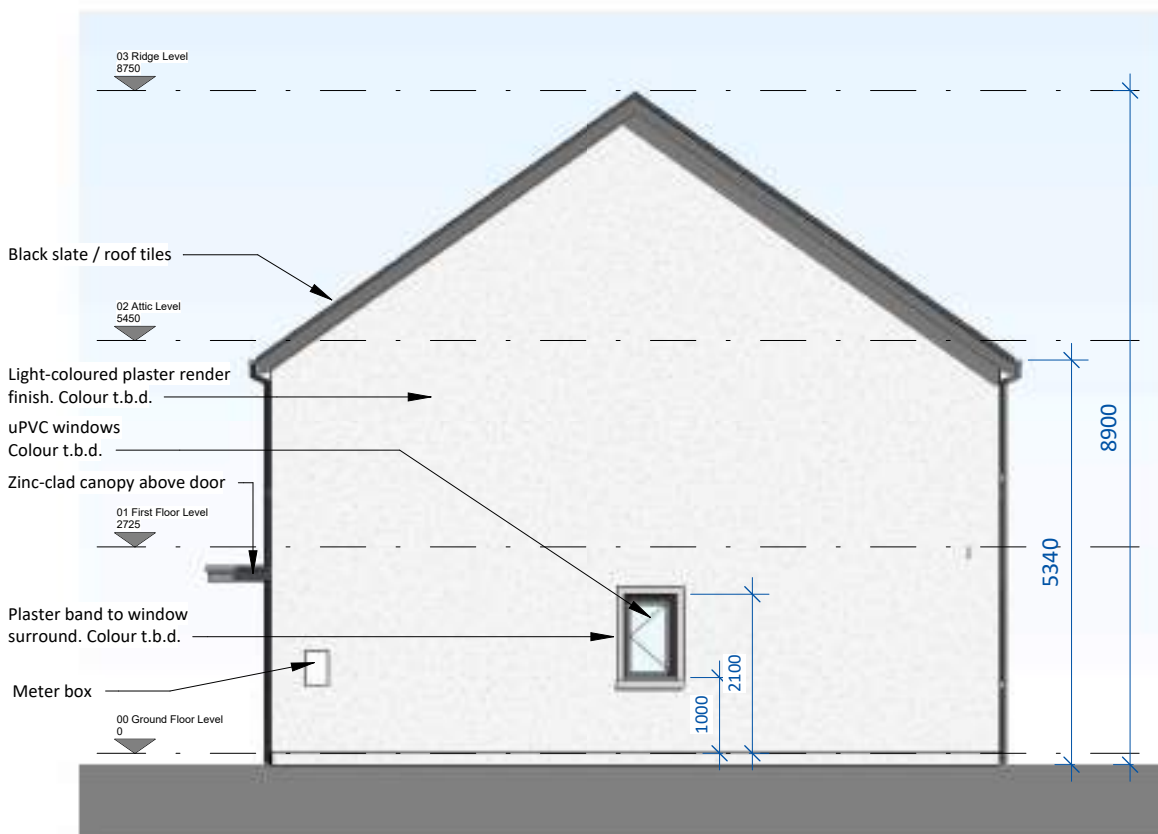
EASTGATE VILLAGE, LITTLE ISLAND, CORK
T: 021 4355016 W: WWW.DGARCHITECTS.IE
EMAIL: INFO@DGARCHITECTS.IE

Project
Proposed Residential Development
An Tammhnaigh, Clonakilly,
Co Cork

Drawing title
2-Bed Housetype C1 (end terrace), Plans, Sections and Elevations

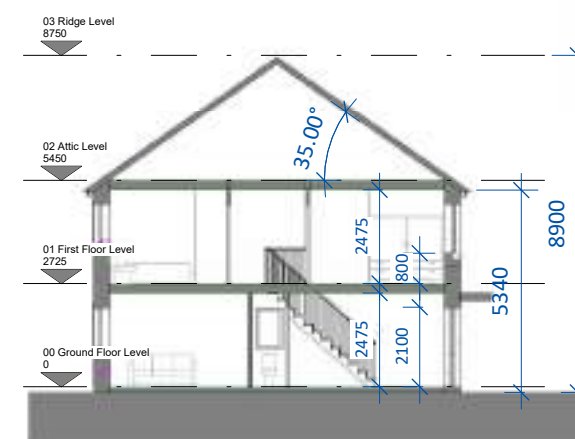
Scale As indicated @ A3	Drawn MP	Checked EJG	Date 15/02/23
Project No. 22040	Drp. No. 22040 / P / 301	Revision P1	

☐ Information \ Comments	☐ Tender
☒ Planning	☐ Construction



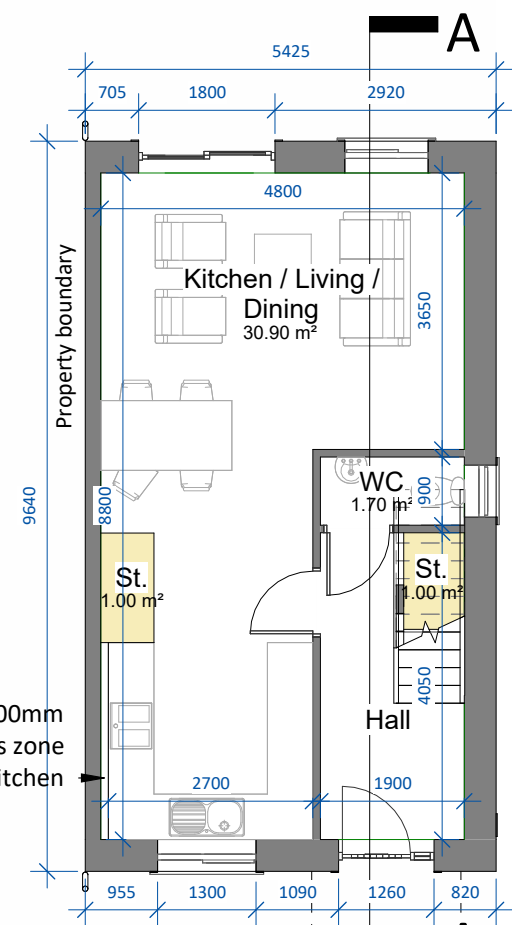
Side Elevation

SCALE 1 : 100



Section A-A

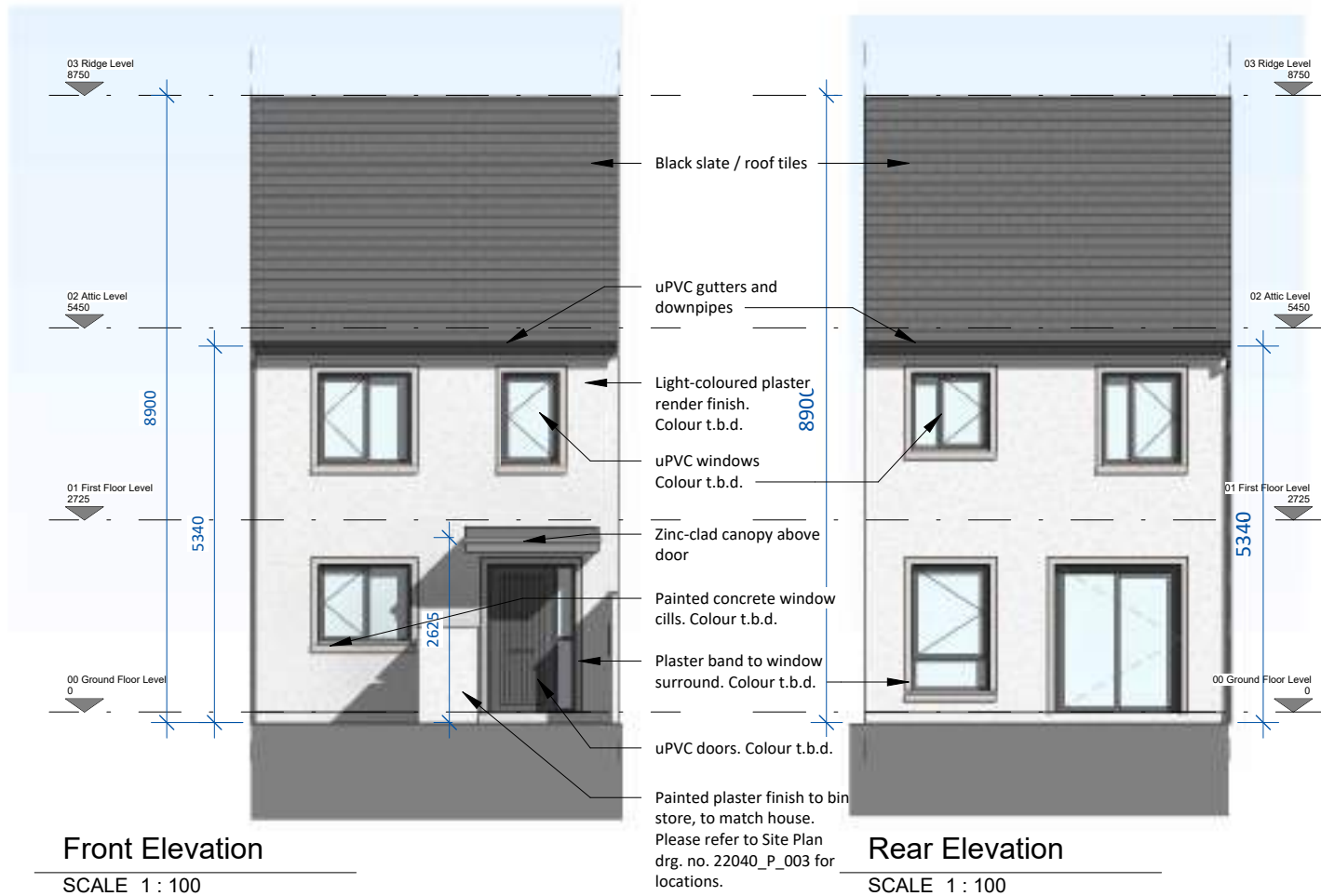
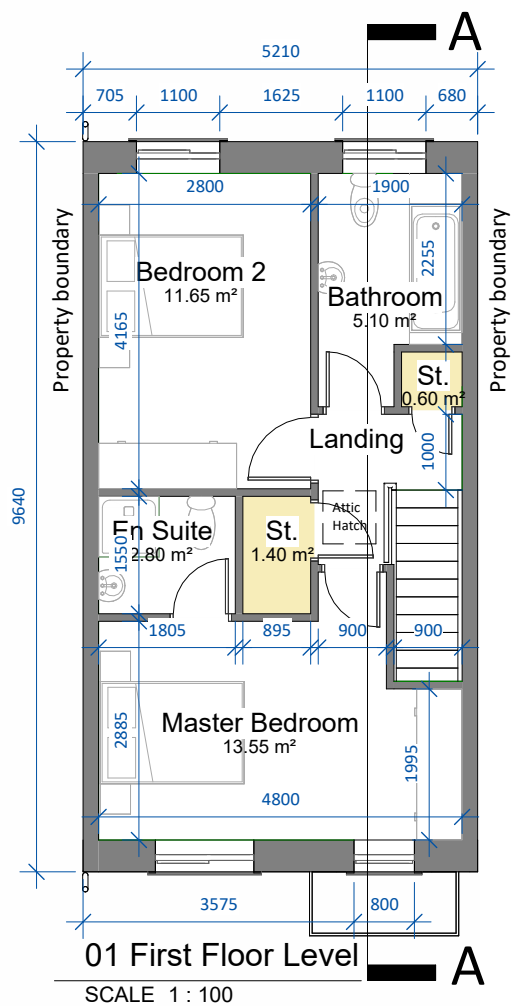
SCALE 1 : 200



00 Ground Floor Level

SCALE 1 : 100

DO NOT SCALE. WORK TO FIGURED DIMENSIONS ONLY.
ALL EXISTING DIMENSIONS TO BE CHECKED ON SITE.
DRAWN ON AUTOCAD R2004 AT DEADY GAHAN ARCHITECTS LTD
LAYERS ON THIS DRAWING COMPLY WITH BS 1192: PART 5



Perspective View

Area Schedule

Name	Area
Ground Floor Plan	42.25 m ²
First Floor Plan	42.25 m ²
	84.50 m ²

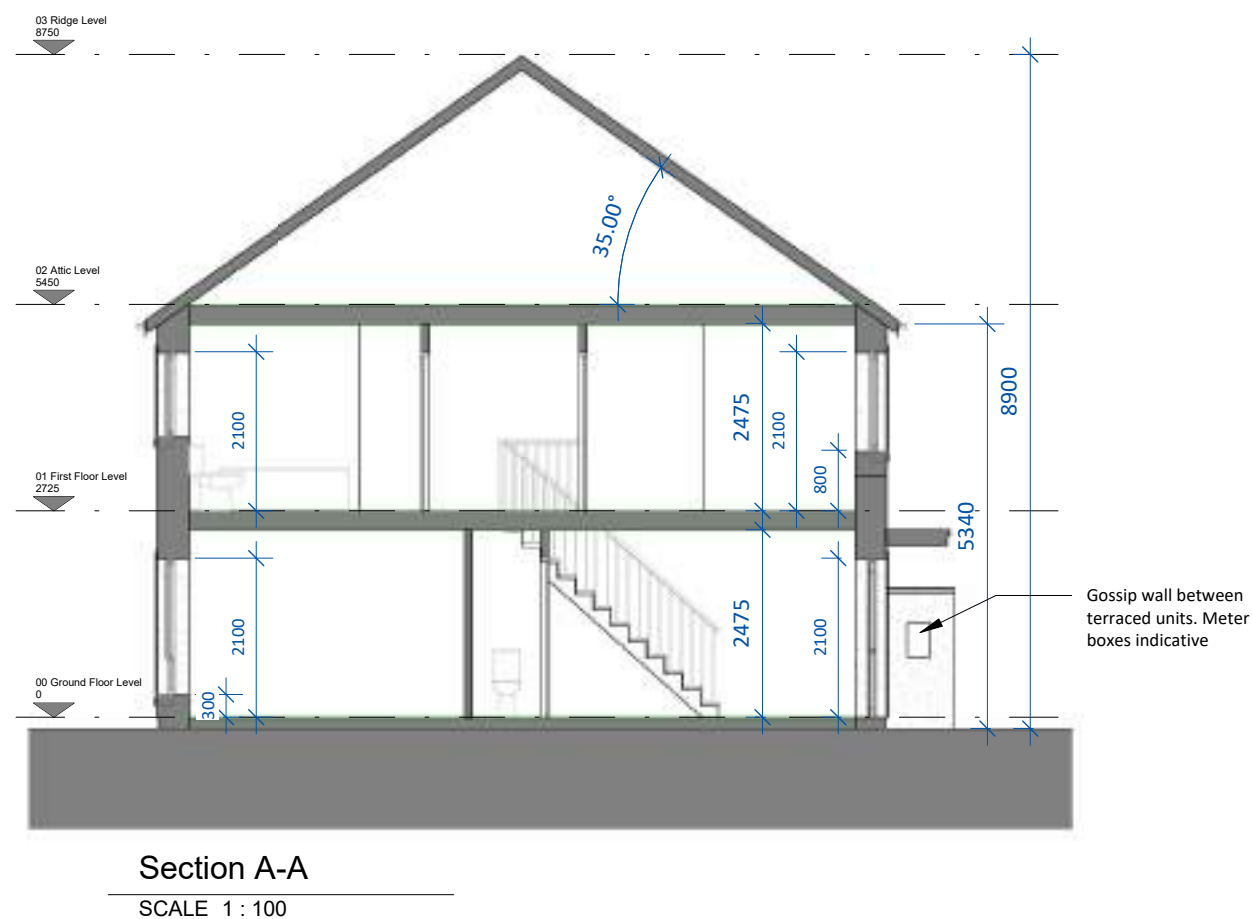
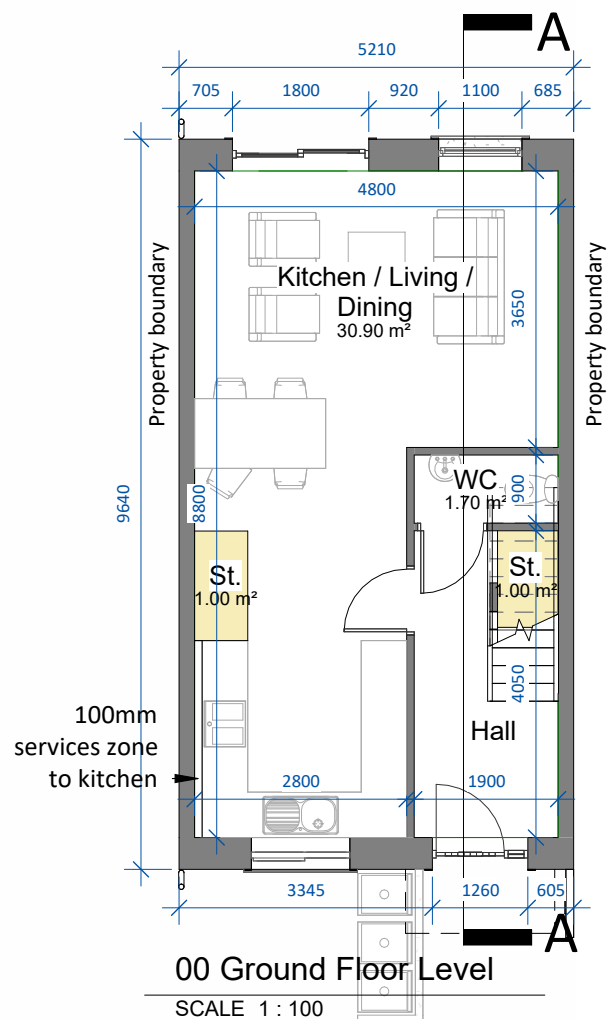
Note: Position of north point and levels vary. See Site Plan 22040/P/003 for orientation and F.F.L.

2 BED HOUSE-TYPE - C2

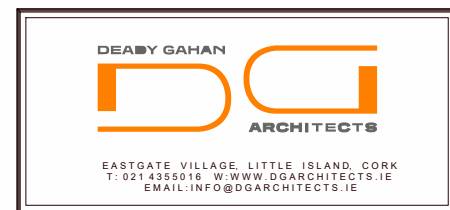
2-bed mid-terrace. (4 person)

AREA: 84.5 SQ.M

STORAGE tot. 4sq.m



date	rev	name	chk	note
31.07.23	P1	MP	EJG	ISSUE FOR PLANNING

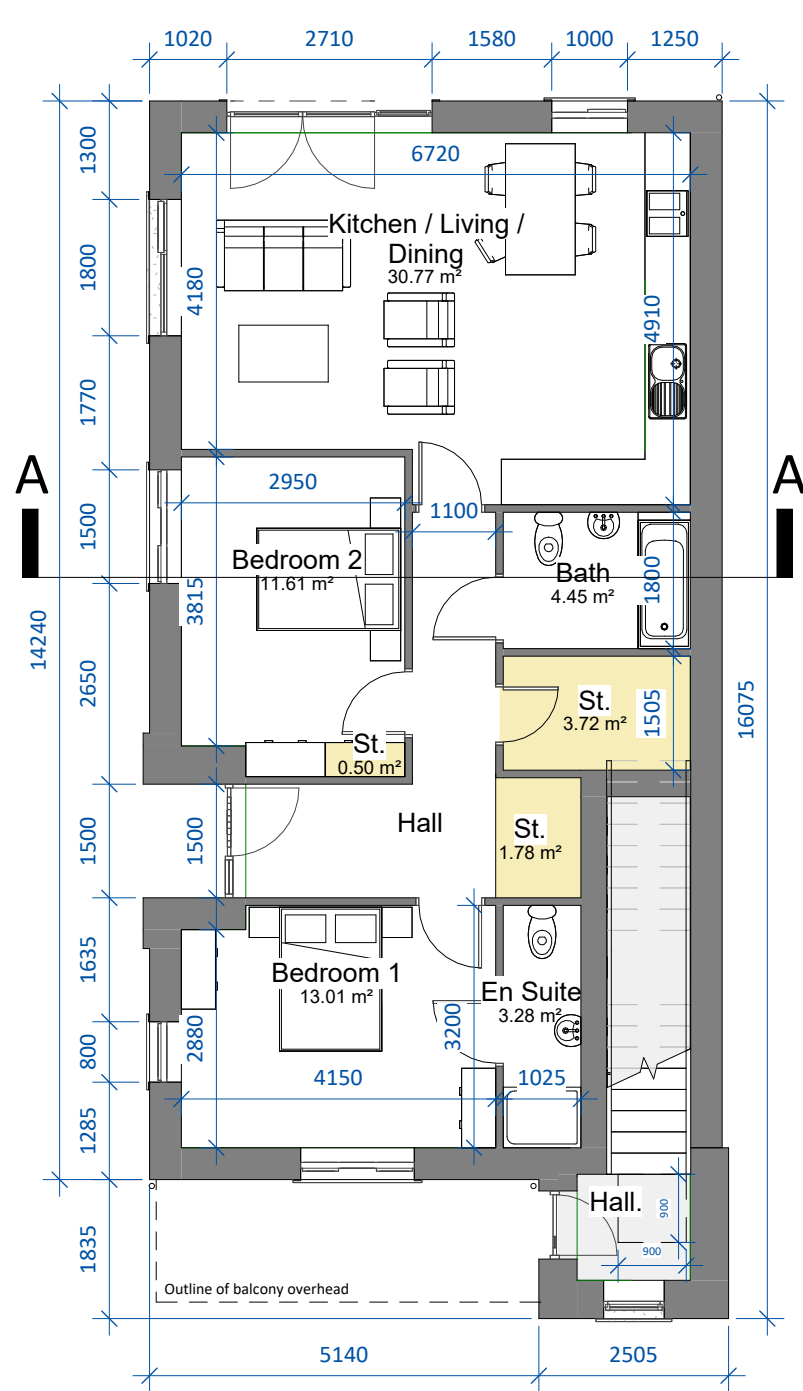


Project
Proposed Residential Development
An Tammhnaigh, Clonakilly,
Co Cork

Drawing title
2-Bed Housetype C2 (mid terrace), Plans, Sections and Elevations

Scale 1 : 100 @ A3	Drawn MP	Checked EJG	Date 15/02/23
Project No. 22040	Drp. No. 22040 / P / 302	Revision P1	

☐ Information \ Comments	☐ Tender
☒ Planning	☐ Construction



00 Ground Floor Plan

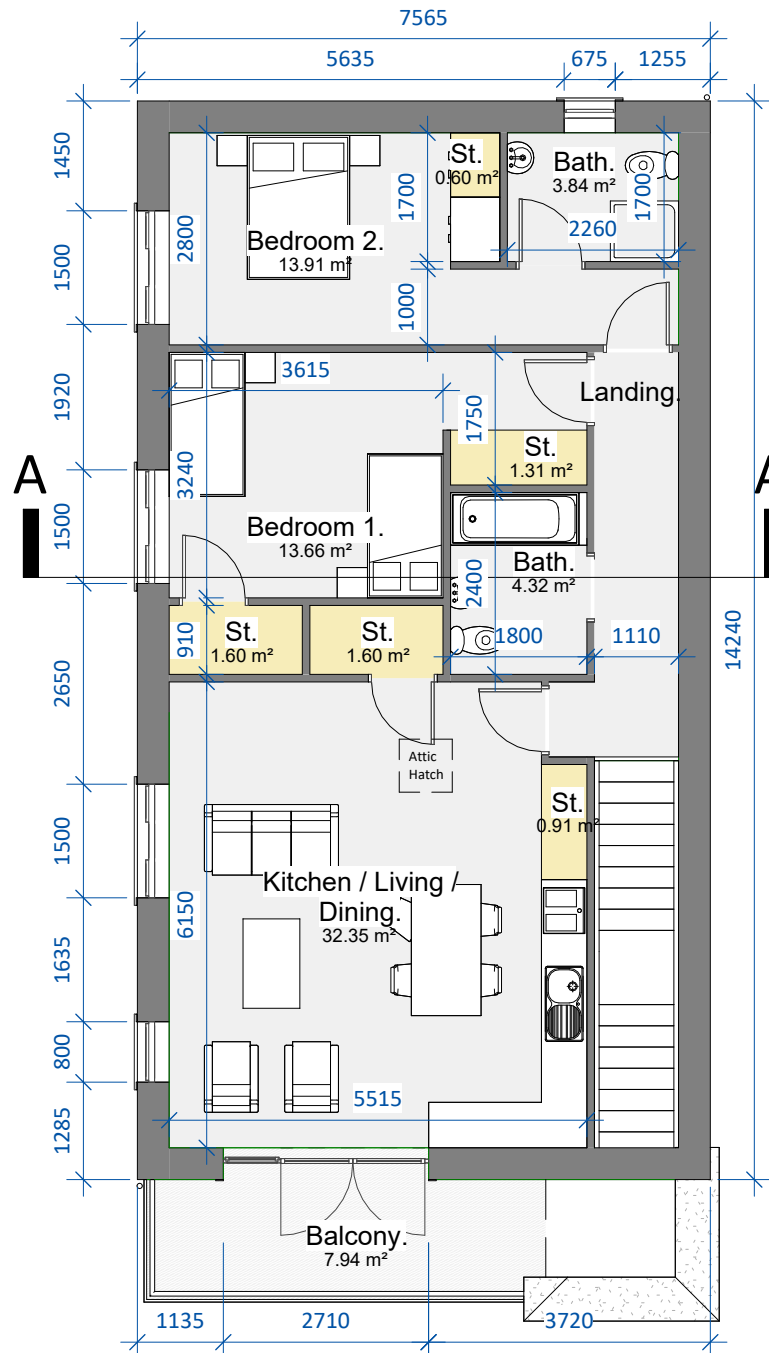
SCALE 1 : 100

UNIT TYPE D1; 2 BED APARTMENT (GROUND)

2-bed apartment (4 person)

AREA: 80.83 SQ.M

 STORAGE tot. 6.0sq.m



01 First Floor Plan

SCALE 1 : 100

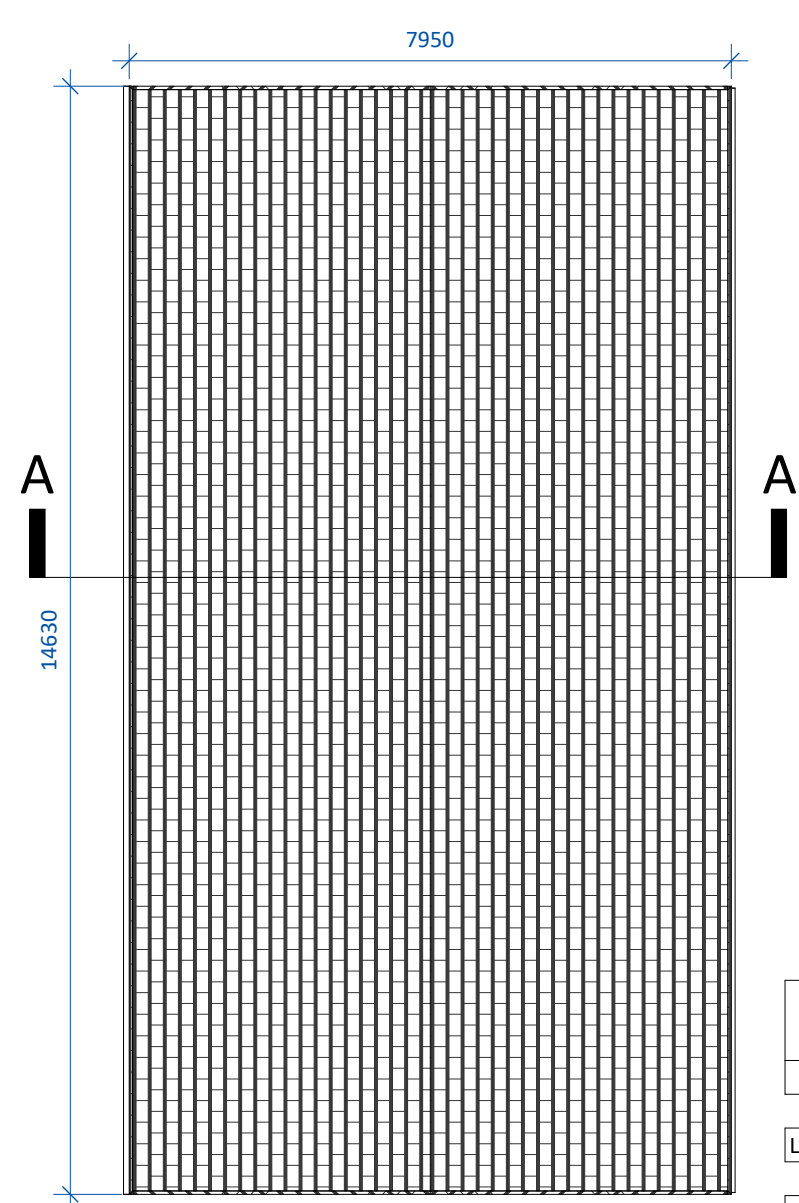
UNIT TYPE D2; 2 BED APARTMENT (FIRST)

2-bed apartment (4 person)

AREA: 84.44 SQ.M

AREA (Including access stairs / lobby): 92.60 SQ.M

 STORAGE tot. 6.0sq.m



02 Attic Level

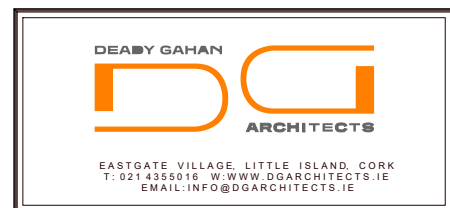
SCALE 1 : 100

Note: Position of north point and levels vary.
See Site Plan 22040/P/003 for orientation
and F.F.L.

Area Schedule (Gross Building)

Name	Area
Lobby (2-Bed Apt D2)	8.16 m²
2 Bed Apartment Ground	80.83 m²
2 Bed Apartment First	84.44 m²

date	rev	name	chk	note
31.07.23	P1	MP	EJG	ISSUE FOR PLANNING

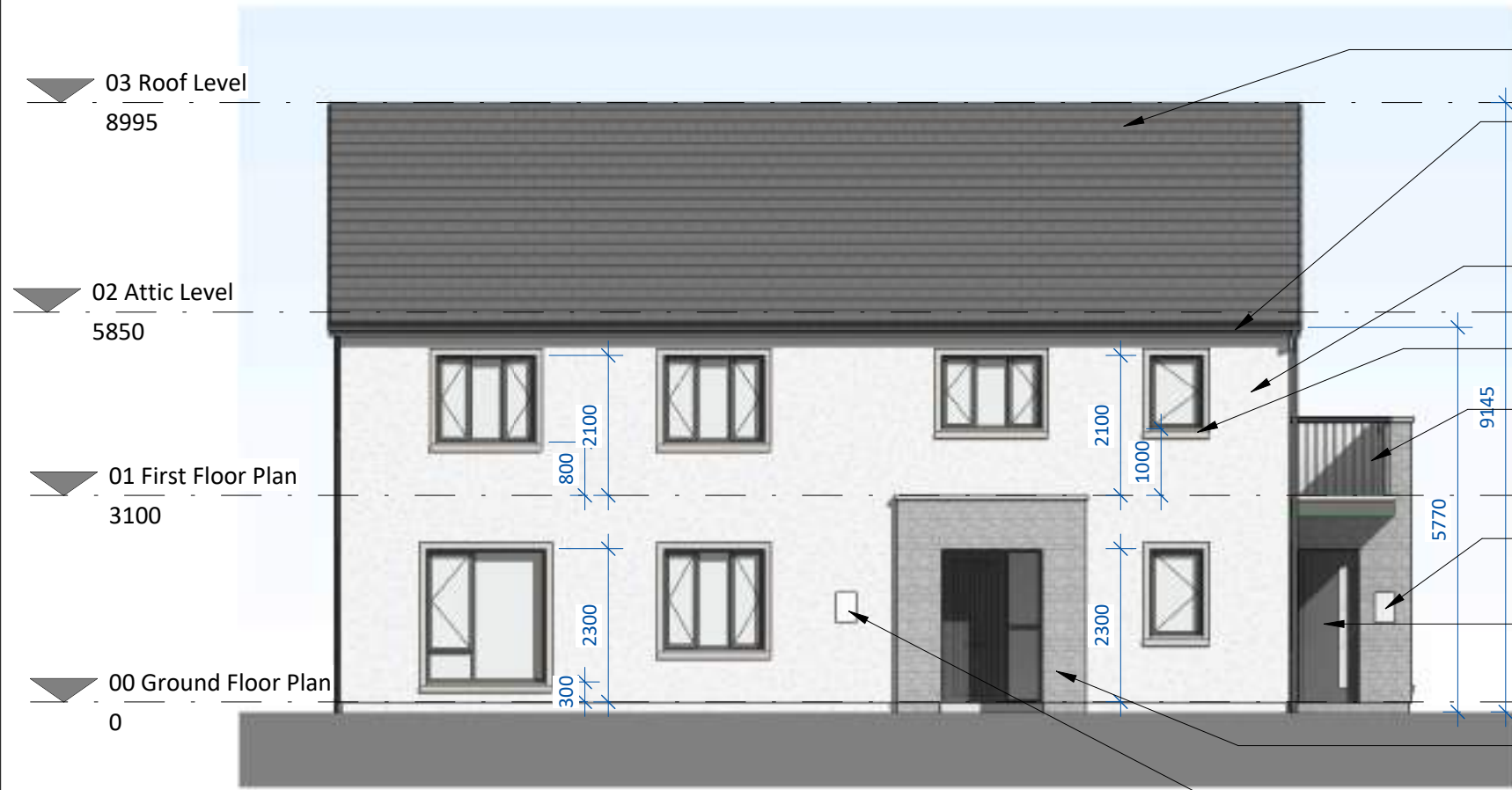


Project
Proposed residential development
At An Tammhnaigh
Clonakilty, Co Cork

Drawing title
Unit Types D1 & D2, Floor Plans

Scale 1 : 100 @ A3	Drawn MP	Checked EJG	Date 24/02/23
Project No. 22040	Dwg. No. 22040-P-401	Revision P1	
☐ Information \ Comments	☐ Tender	☐ Construction	

DO NOT SCALE. WORK TO FIGURED DIMENSIONS ONLY.
ALL EXISTING DIMENSIONS TO BE CHECKED ON SITE.
DRAWN ON AUTOCAD R2004 AT DEADY GAHAN ARCHITECTS LTD
LAYERS ON THIS DRAWING COMPLY WITH BS 1192: PART 5



Side Elevation

SCALE 1 : 100

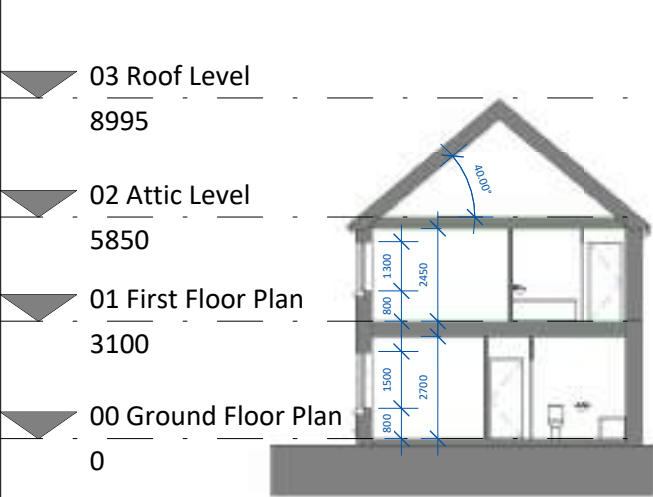


Front Elevation

SCALE 1 : 100

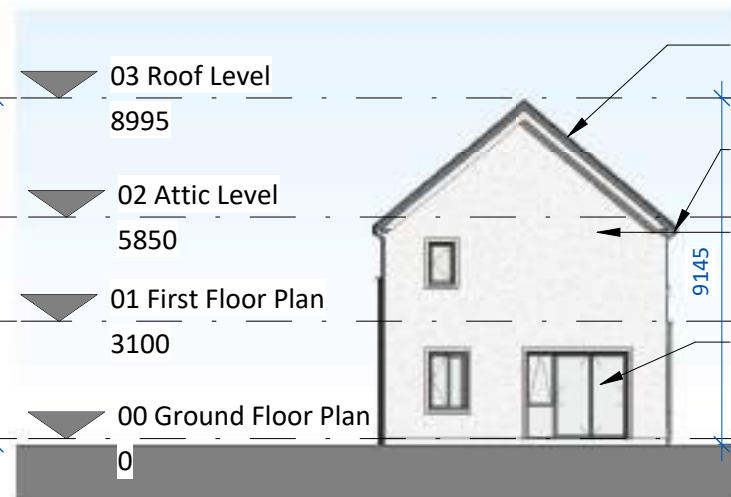


Perspective View



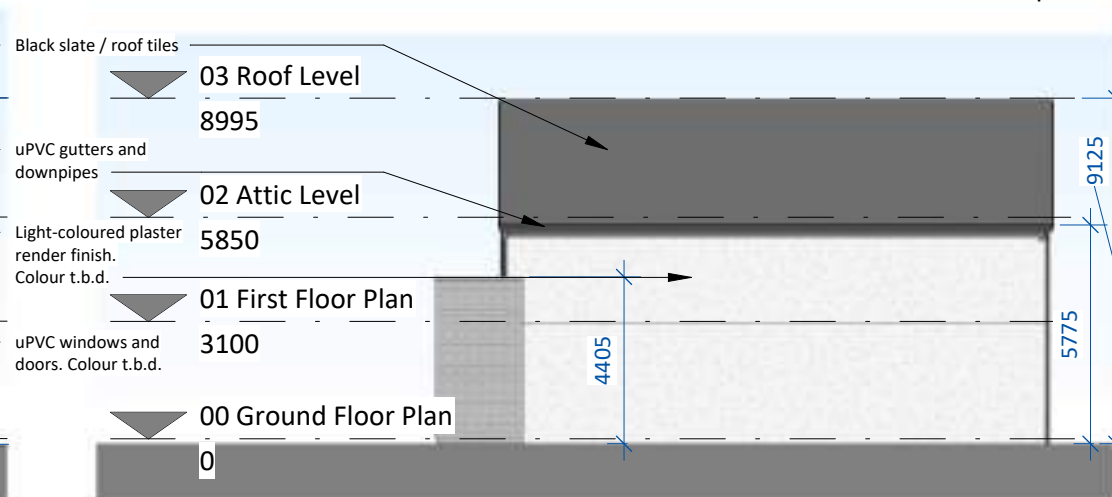
Section A-A

SCALE 1 : 200



Rear Elevation

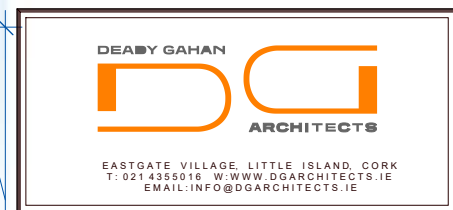
SCALE 1 : 200



Side Elevation 2

SCALE 1 : 200

date	rev	name	chk	note
31.07.23	P1	MP	EJG	ISSUE FOR PLANNING



Project
Proposed residential development
At An Tammhaigh
Clonakilty, Co Cork

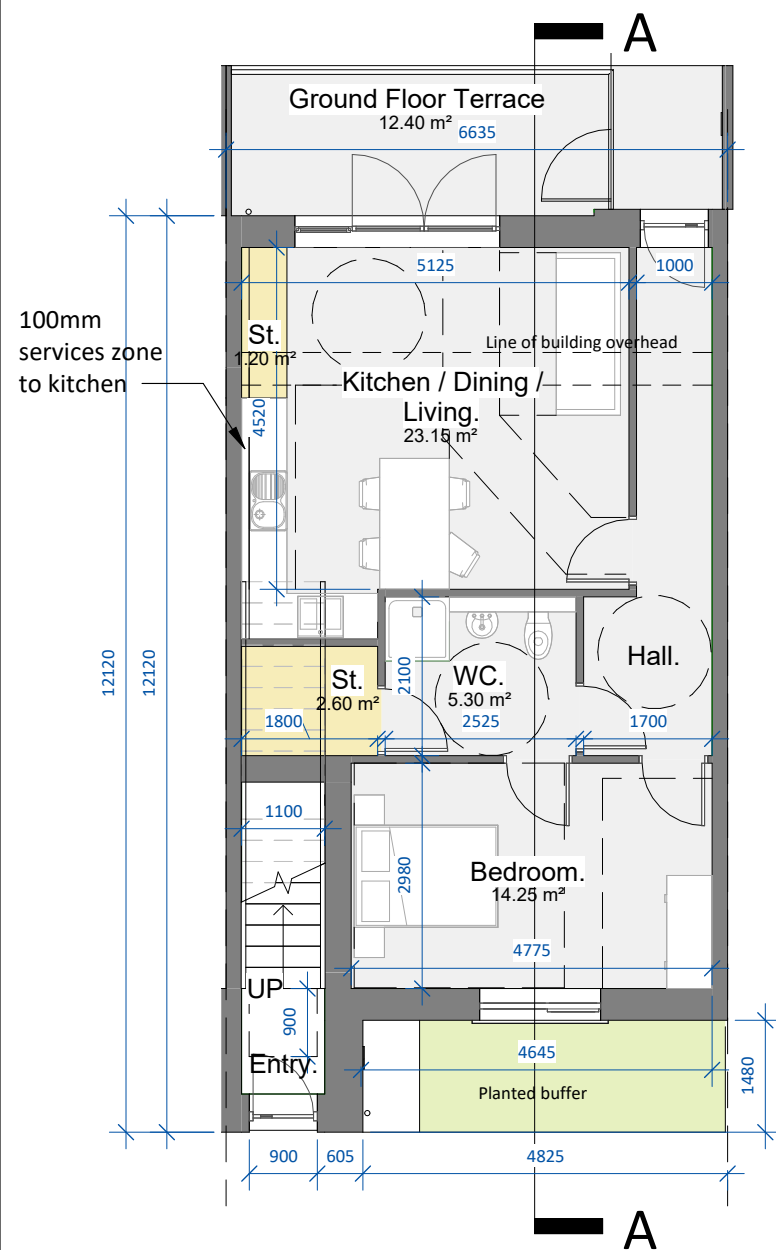
Drawing title
Unit Types D1 & D2, Elevations and Section

Scale	Drawn	Checked	Date
As indicated @ A3	MP	EJG	16/02/23

Project No.	Drp. No.	Revision
22040	22040-P-402	P1

☐ Information \ Comments	☐ Tender
☒ Planning	☐ Construction

DO NOT SCALE. WORK TO FIGURED DIMENSIONS ONLY.
ALL EXISTING DIMENSIONS TO BE CHECKED ON SITE.
DRAWN ON AUTOCAD R2004 AT DEADY GAHAN ARCHITECTS LTD
LAYERS ON THIS DRAWING COMPLY WITH BS 1192: PART 5



00 Ground Floor Plan

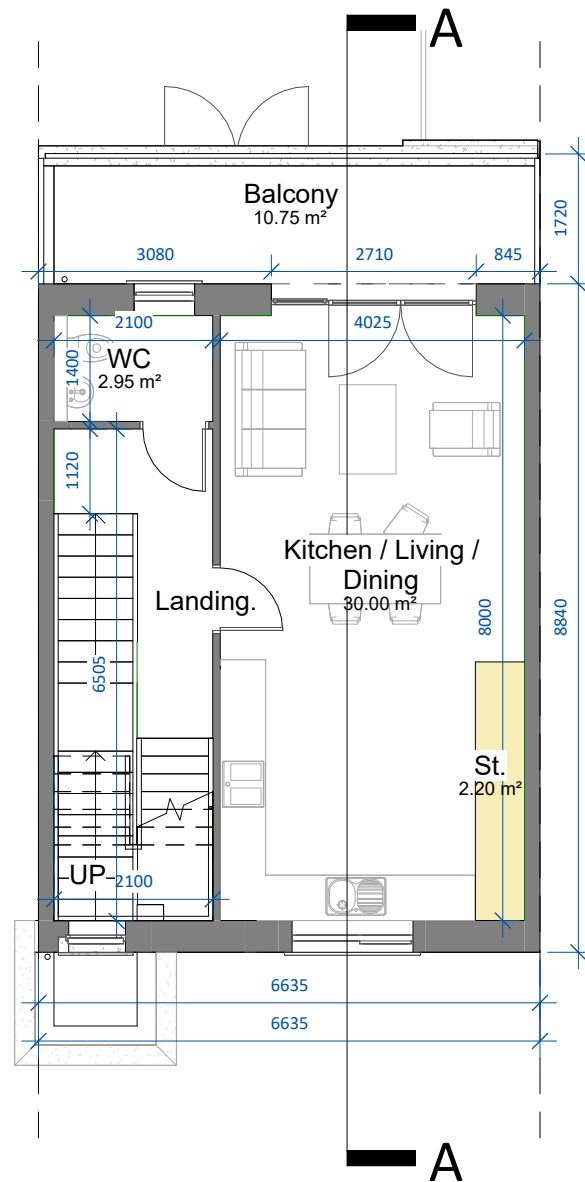
SCALE 1 : 100

UNIT TYPE E1; 1 BED APARTMENT

1-bed apartment (2 person)

AREA: 56.5 SQ.M

STORAGE tot. 3.8sq.m



01 First Floor Level

SCALE 1 : 100

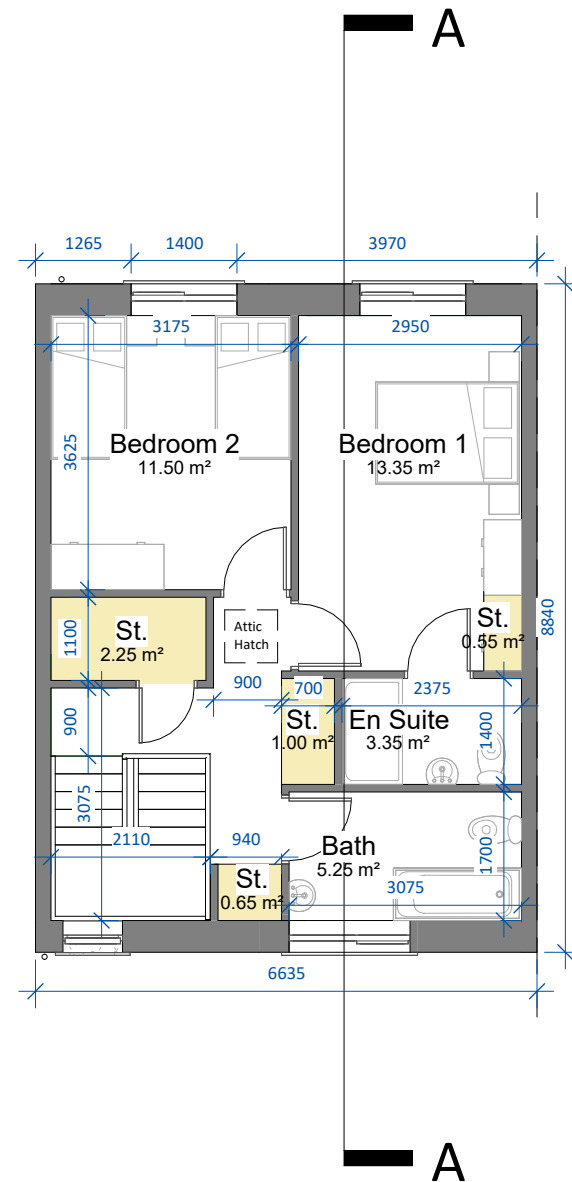
UNIT TYPE D3; 2 BED APARTMENT

2-bed apartment (4 person)

AREA: 93.7 SQ.M

AREA (including access stairs / lobby): 101.2 SQ.M

STORAGE tot. 6.65sq.m



02 Second Floor Plan

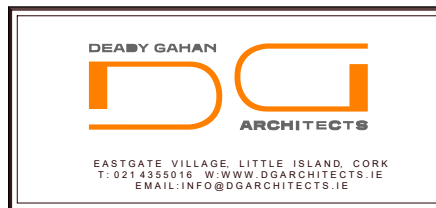
SCALE 1 : 100

Note: Position of north point and levels vary.
See Site Plan 22040/P/003 for orientation
and F.F.L.

Area Schedule (Gross Building)

Comments	Name	Area
Unit Type E1	1 Bed Apartment P1	56.5 m²
Unit Type D3	2 Bed Apartment P2	93.7 m²
	Lobby (2-Bed Apt)	7.5 m²

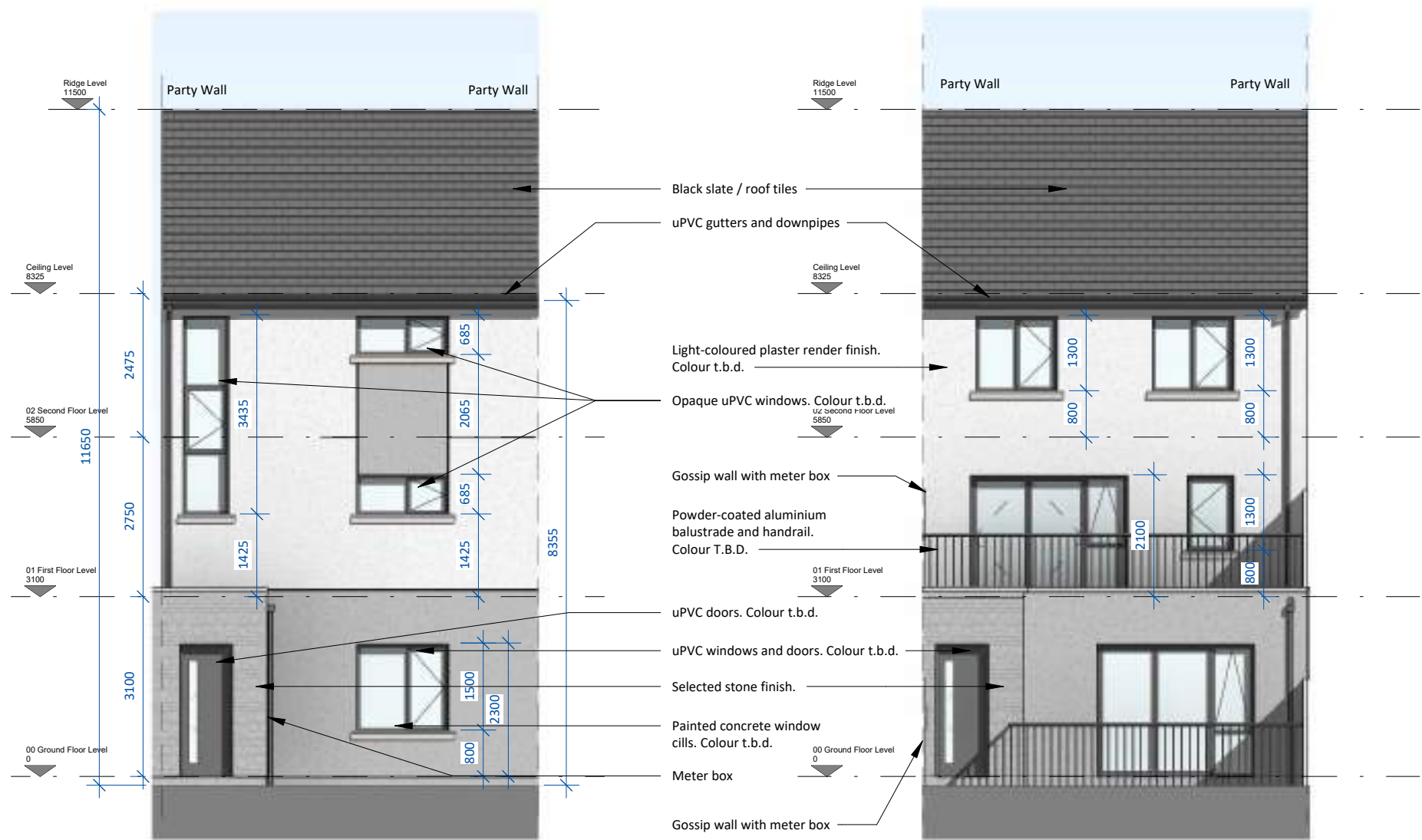
date	rev	name	chk	note
28.02.24	P1	MP	EJG	ISSUE FOR PLANNING



Project
Proposed Residential Development
at An Tamhnaigh, Clonakilty,
Co Cork

Drawing title Unit Types E1 and D3, Plans			
Scale 1 : 100 @ A3	Drawn MP	Checked EJG	Date 15/02/23
Project No. 22040	Drg. No. 22040 - P - 501		Revision P1
☐ Information \ Comments			Tender
☒ Planning			Construction

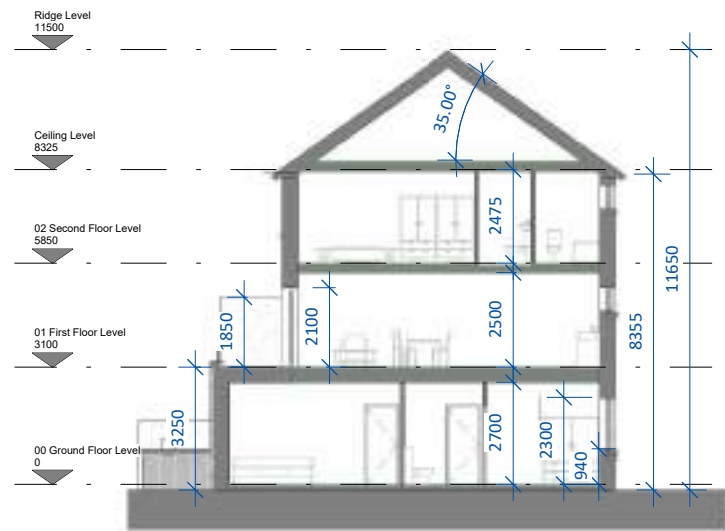
DO NOT SCALE. WORK TO FIGURED DIMENSIONS ONLY.
ALL EXISTING DIMENSIONS TO BE CHECKED ON SITE.
DRAWN ON AUTOCAD R2004 AT DEADY GAHAN ARCHITECTS LTD
LAYERS ON THIS DRAWING COMPLY WITH BS 1192: PART 5



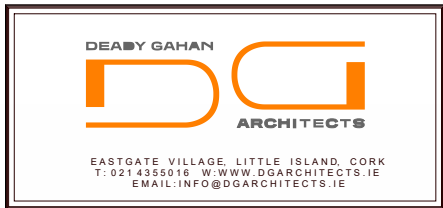
Perspective view from the public open space



Perspective view from the road



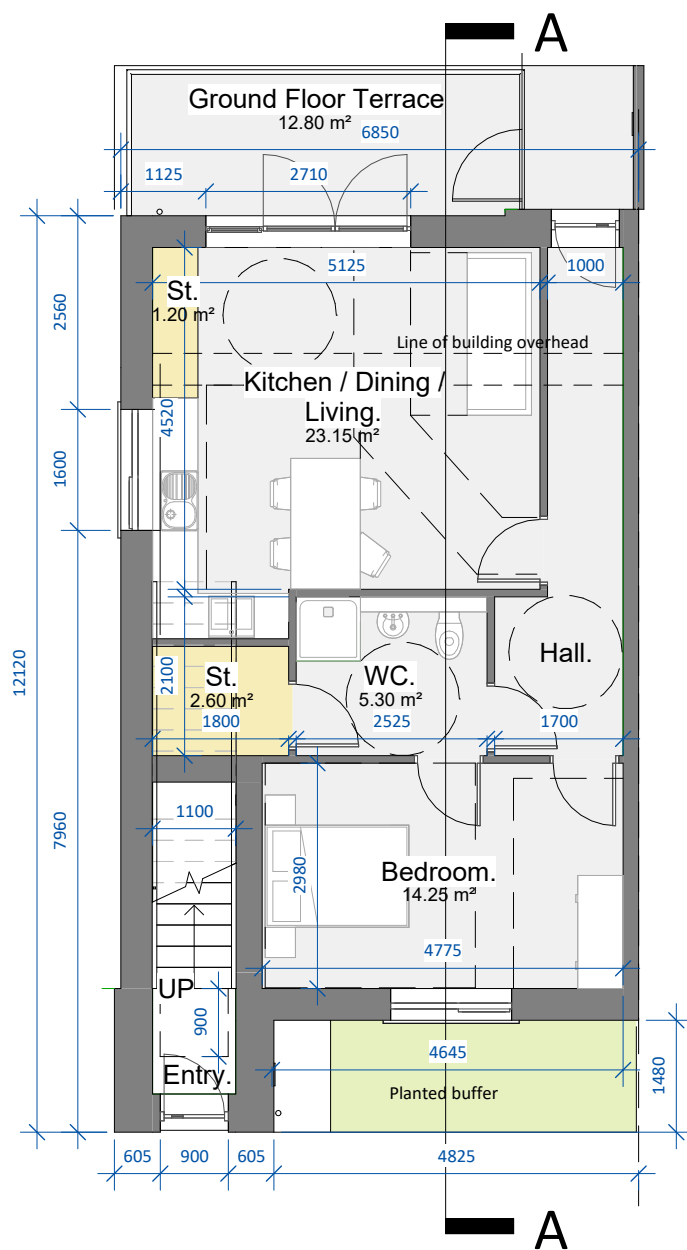
date	rev	name	chk	note
28.02.24	P1	MP	EJG	ISSUE FOR PLANNING



Project
Proposed Residential Development
at An Tamhnaigh, Clonakilty,
Co Cork

Drawing title Unit Types E1 and D3, Elevations and Section A-A			
Scale As indicated @ A3	Drawn MP	Checked EJG	Date 15/02/23
Project No. 22040	Dwg. No. 22040 - P - 502	Revision P1	
☐ Information \ Comments		Tender ☐	
☒ Planning		Construction ☐	

DO NOT SCALE. WORK TO FIGURED DIMENSIONS ONLY.
ALL EXISTING DIMENSIONS TO BE CHECKED ON SITE.
DRAWN ON AUTOCAD R2004 AT DEADY GAHAN ARCHITECTS LTD
LAYERS ON THIS DRAWING COMPLY WITH BS 1192: PART 5



00 Ground Floor Plan

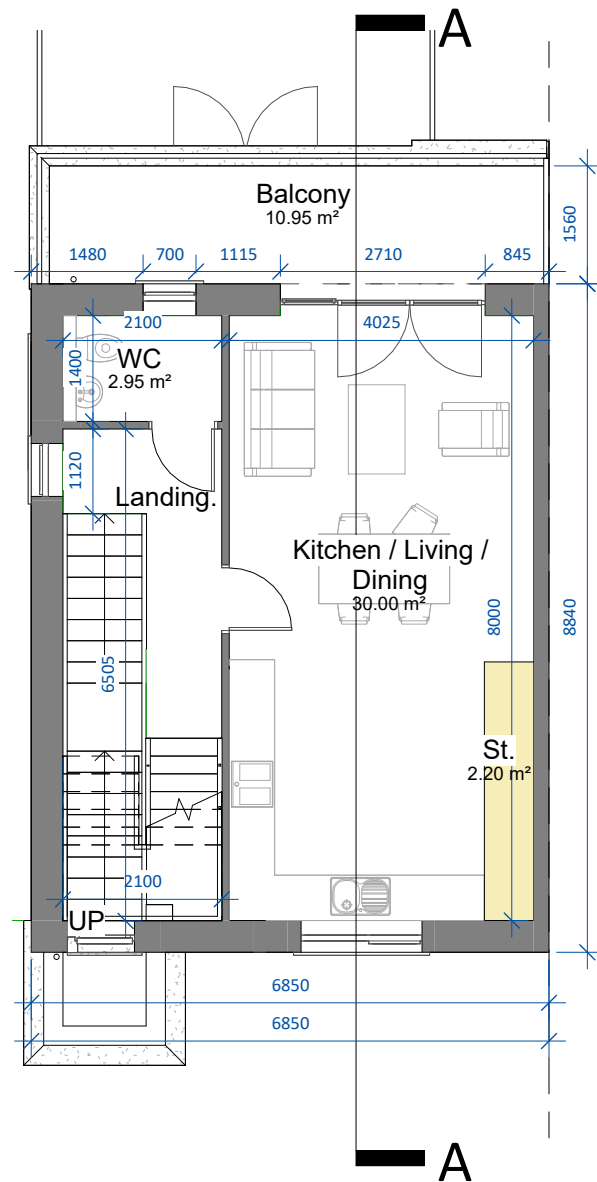
SCALE 1 : 100

UNIT TYPE E2; 1 BED APARTMENT

1-bed apartment (2 person)

AREA: 56.5 SQ.M

STORAGE tot. 3.8sq.m



01 First Floor Level

SCALE 1 : 100

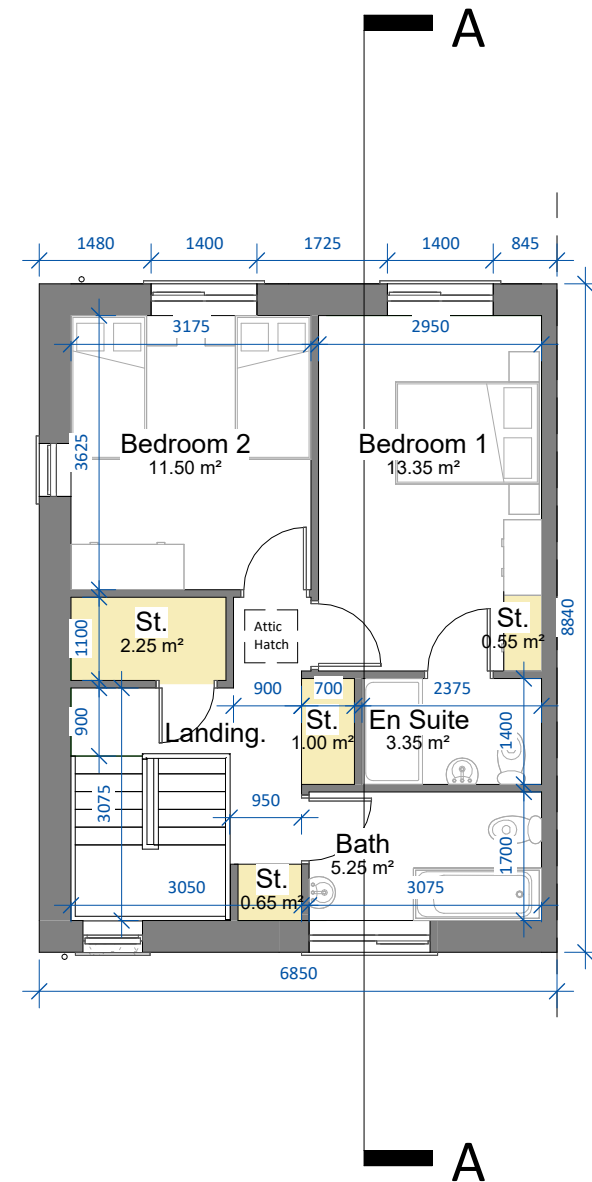
UNIT TYPE D4; 2 BED APARTMENT

2-bed apartment (4 person)

AREA: 93.7 SQ.M

AREA (including access stairs / entrance lobby): 101.2 SQ.M

STORAGE tot. 6.65sq.m



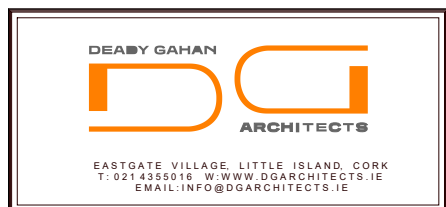
02 Second Floor Plan

SCALE 1 : 100

Area Schedule (Gross Building)

Comments	Name	Area
Unit Type E2	1 Bed Apartment P1	56.5 m ²
Unit Type D4	2 Bed Apartment P2	93.7 m ²
	Lobby (Apt.P2)	7.5 m ²
		157.7 m ²

date	rev	name	chk	note
28.02.24	P1	MP	EJG	ISSUE FOR PLANNING

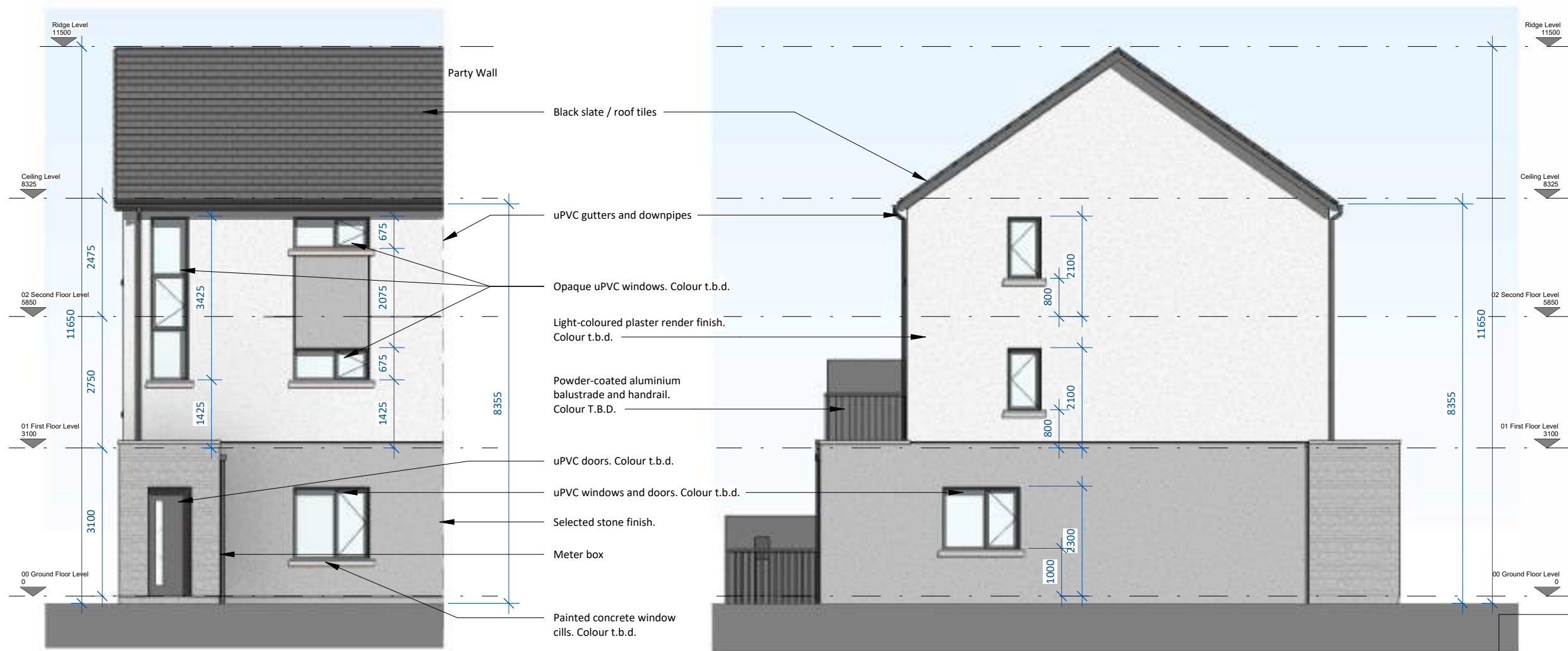


Project
Proposed Residential Development
at An Tamhnaigh Clonakilly,
Co Cork

Drawing title Unit Types E2 and D4, Plans			
Scale 1 : 100 @ A3	Drawn MP	Checked EJG	Date 15/02/23
Project No. 22040	Drg. No. 22040 - P - 503		Revision P1
☐ Information \ Comments		Tender ☐	
☒ Planning		Construction ☐	

Note: See Site Plan 22040/P/003 for orientation and FFL.

DO NOT SCALE. WORK TO FIGURED DIMENSIONS ONLY.
ALL EXISTING DIMENSIONS TO BE CHECKED ON SITE.
DRAWN ON AUTOCAD R2004 AT DEADY GAHAN ARCHITECTS LTD
LAYERS ON THIS DRAWING COMPLY WITH BS 1192: PART 5



Front Elevation

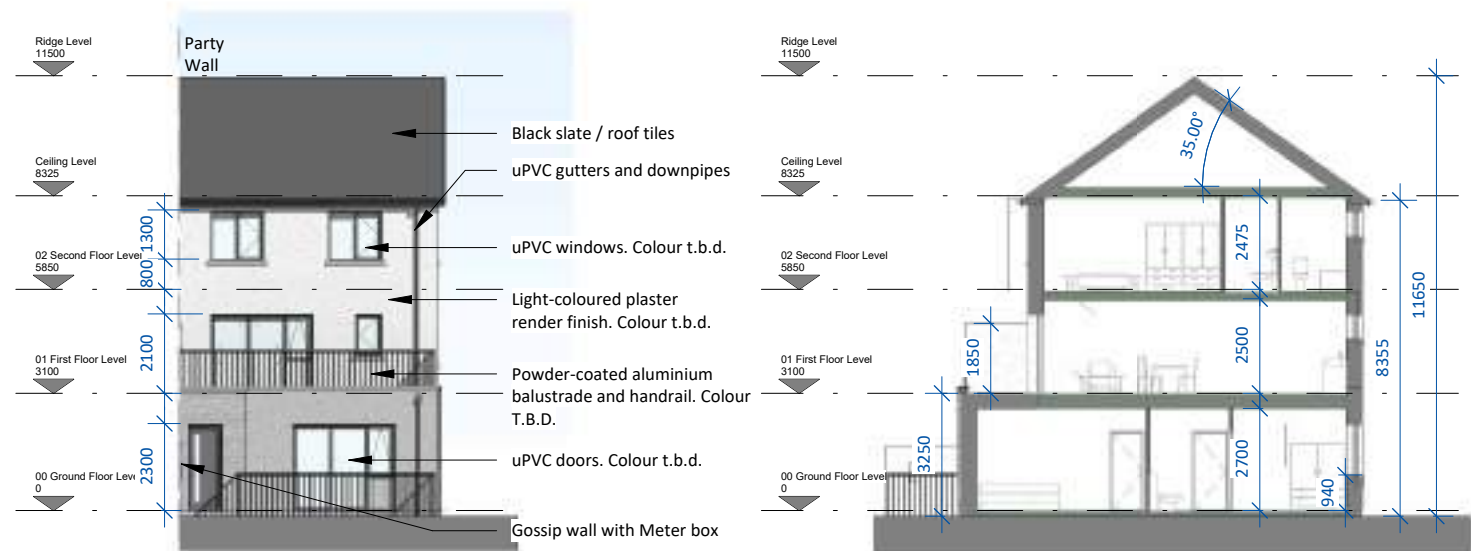
SCALE 1 : 100

Side Elevation 2

SCALE 1 : 100

Area Schedule (Gross Building)

Comments	Name	Area
Unit Type E2	1 Bed Apartment P1	56.5 m ²
Unit Type D4	2 Bed Apartment P2	93.7 m ²
	Lobby (Apt.P2)	7.5 m ²
		157.7 m ²



Rear Elevation

SCALE 1 : 200

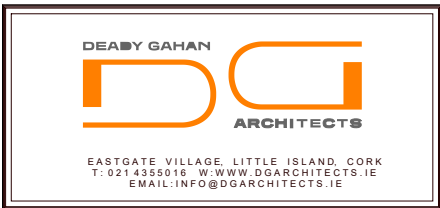
Section A-A

SCALE 1 : 200



Perspective View

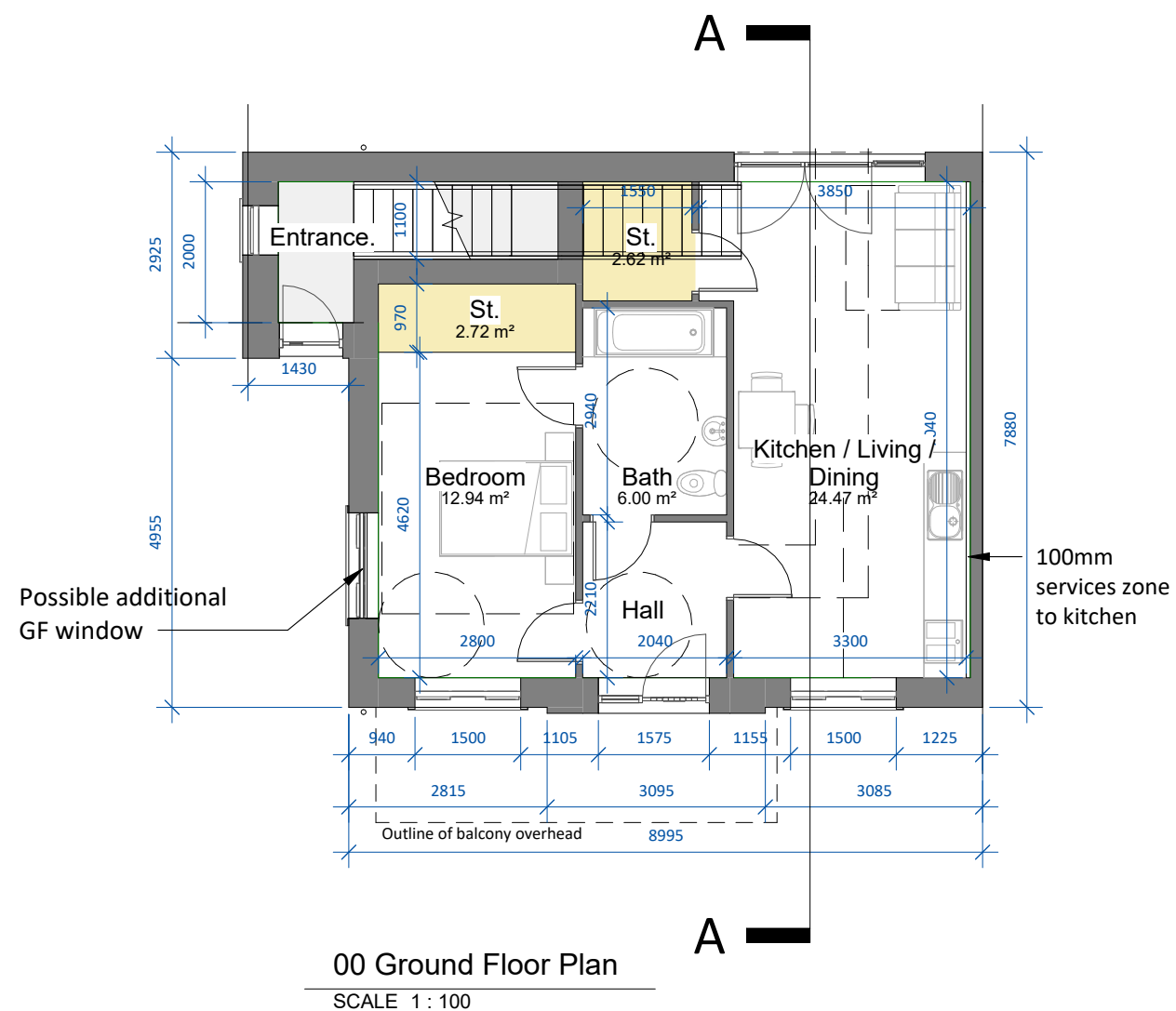
date	rev	name	chk	note
28.02.24	P1	MP	EJG	ISSUE FOR PLANNING



Project
Proposed Residential Development
at An Tamhnaigh Clonakilly,
Co Cork

Drawing title
Unit Types E2 and D4, Elevations and Section A-A

Scale As indicated @ A3	Drawn MP	Checked EJG	Date 15/02/23
Project No. 22040	Drw. No. 22040 - P - 504	Revision P1	
☐ Information \ Comments		Tender ☐	
☒ Planning		Construction ☐	

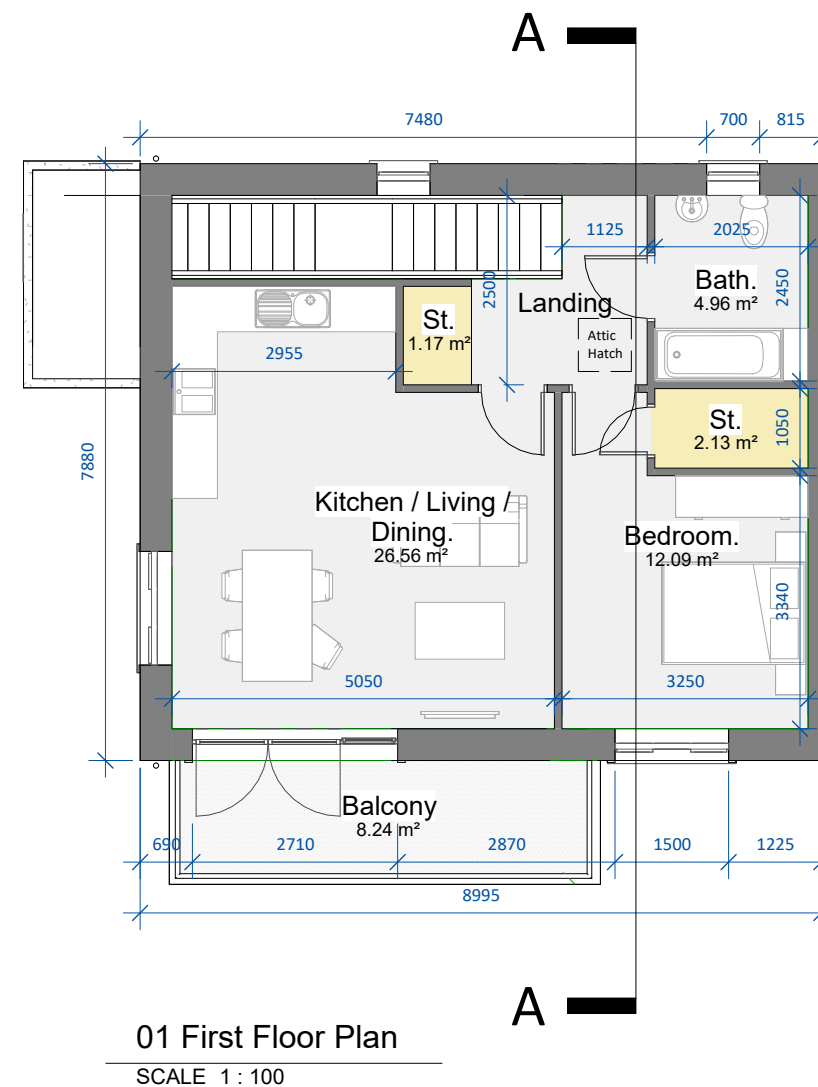


UNIT TYPE E3; 1 BED APARTMENT (Ground)

1-bed apartment (2 person)

AREA: 54.93 SQ.M

STORAGE tot. 5.34sq.m



UNIT TYPE F2; 1 BED APARTMENT (First)

1-bed apartment (2 person)

AREA: 53.47 SQ.M

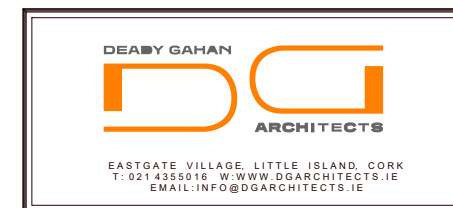
AREA (including access stairs / entrance lobby): 61.66 SQ.M

STORAGE tot. 3.3sq.m

Area Schedule (Gross Building)

Name	Area
Lobby (1-Bed Apt.)	8.19 m²
Ground Floor Apartment	54.93 m²
First Floor Apartment	53.47 m²

date	rev	name	chk	note
31.07.23	P1	MP	EJG	ISSUE FOR PLANNING



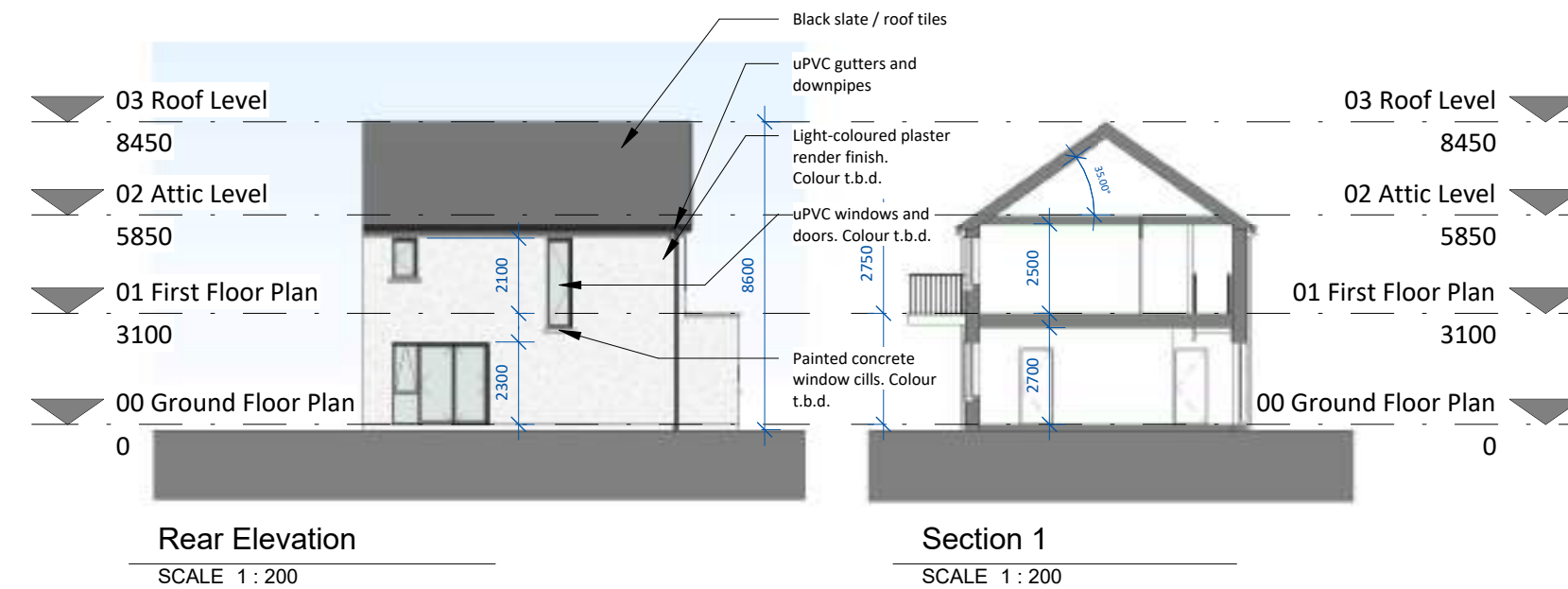
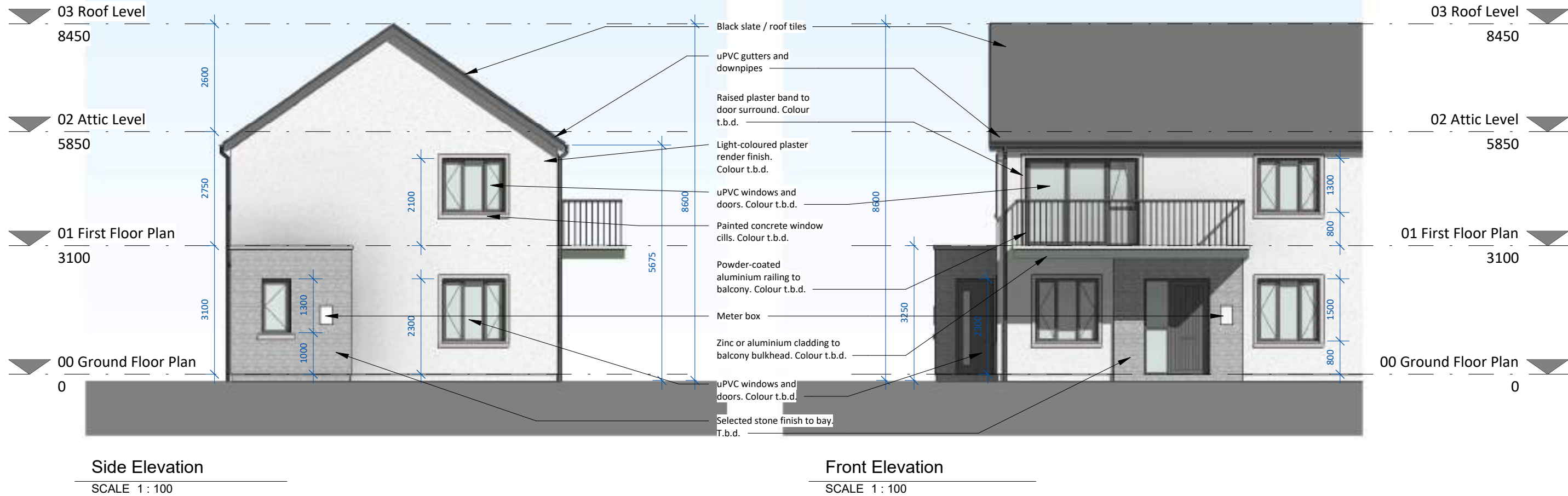
Project
Proposed Residential Development
at An Thamnagh,
Clonakilty, Co Cork

Drawing title
Unit Types E3 and F2, Floor Plans

Scale 1 : 100 @ A3	Drawn MP	Checked EJG	Date 17/02/23
Project No. 22040	Drp. No. 22040-P-601	Revision P1	

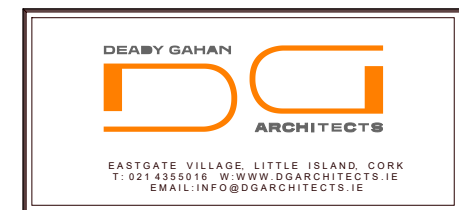
☐ Information \ Comments	☐ Tender
☒ Planning	☐ Construction

Note: Position of north point and levels vary.
See Site Plan 22040/P/003 for orientation
and F.F.L.



Perspective View

date	rev	name	chk	note
31.07.23	P1	MP	EJG	ISSUE FOR PLANNING



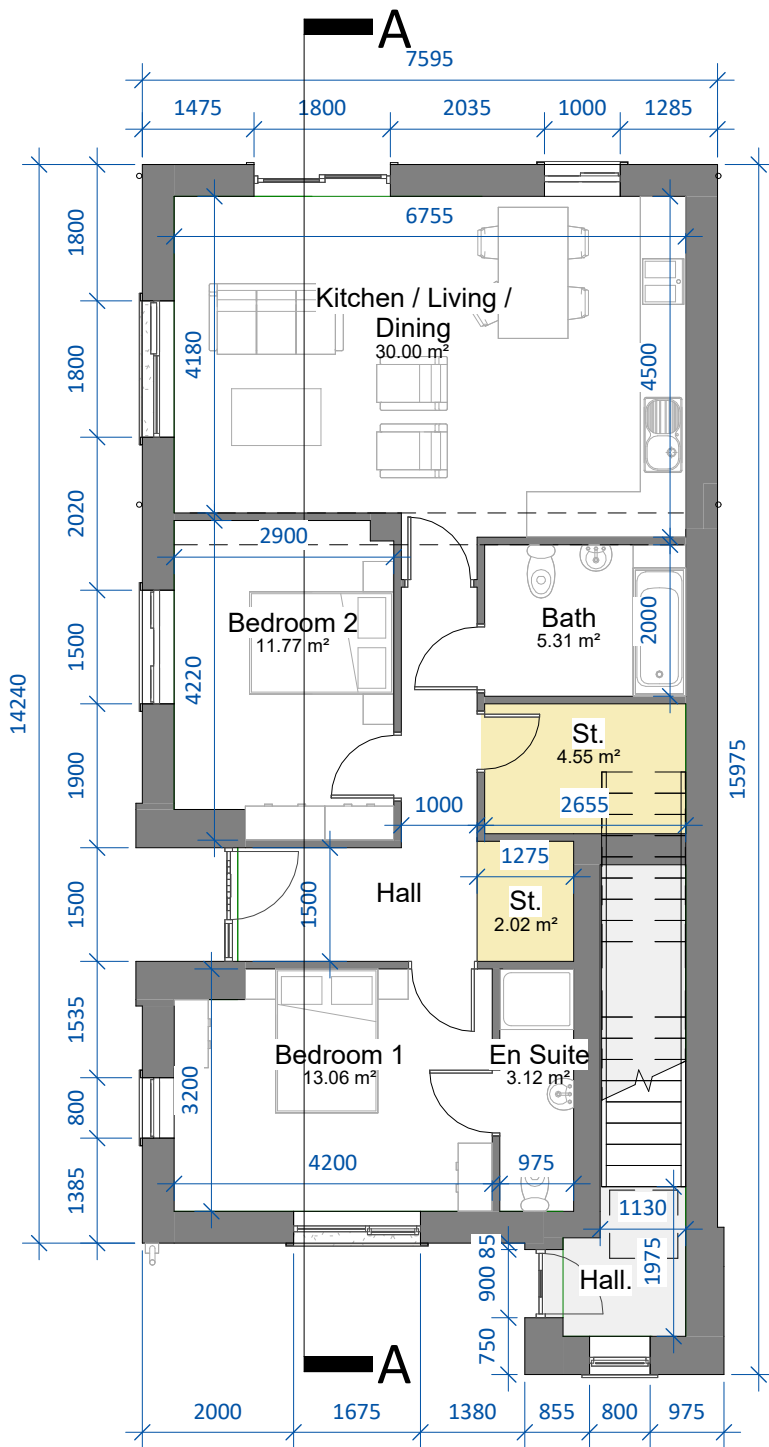
Project
Proposed residential development at An Thamnagh, Clonakilty, Co Cork

Drawing title
Unit Types E3 and F2, Elevations and Section

Scale As indicated @ A3	Drawn MP	Checked EJG	Date 23/02/23
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Project No. 22040	Dwg. No. 22040-P-602	Revision P1
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☐ Information \ Comments	☐ Tender
☐ Planning	☐ Construction



UNIT TYPE D5 (GROUND)

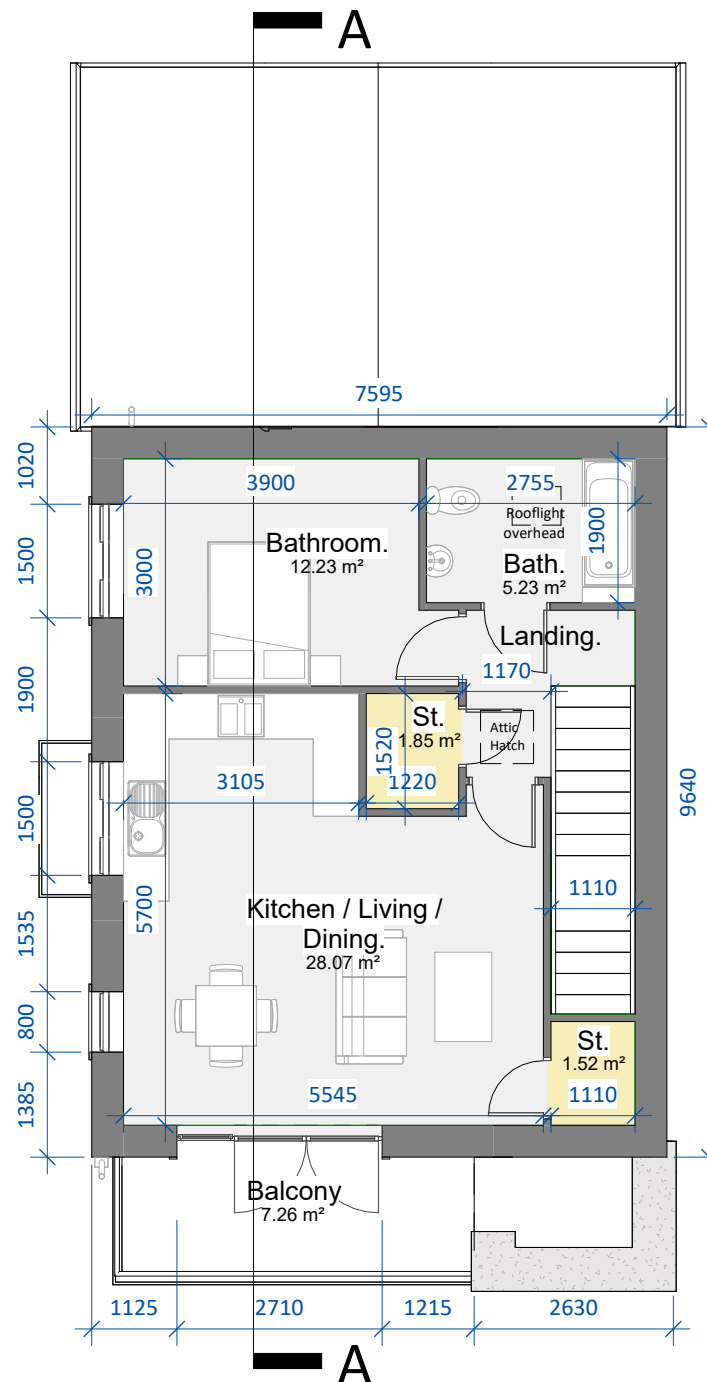
2-bed apartment (4 person)

AREA: 80.78 SQ.M

STORAGE tot. 6.02sq.m

Ground Floor Plan

SCALE 1 : 100



UNIT TYPE F1 (FIRST)

1-bed apartment (2 person)

AREA: 53.10 SQ.M

AREA (including entrance lobby): 61.48 SQ.M

STORAGE tot. 3.37sq.m

First Floor Plan

SCALE 1 : 100



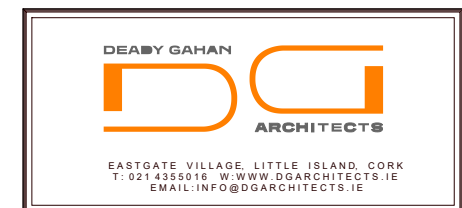
Perspective Image

Note: Position of north point and levels vary. See Site Plan 22040/P/003 for orientation and F.F.L.

Area Schedule (Gross Building)

Comments	Name	Area
Unit Type F1	1 Bed Apartment	53.10 m²
Unit Type D5	2 Bed Apartment	80.78 m²

date	rev	name	chk	note
31.07.23	P1	MP	EJG	ISSUE FOR PLANNING



Project
Proposed residential development
At An Tammhnaigh
Clonakilty, Co Cork

Drawing title
Unit Types D5, F1_Ground and First Floor Plans

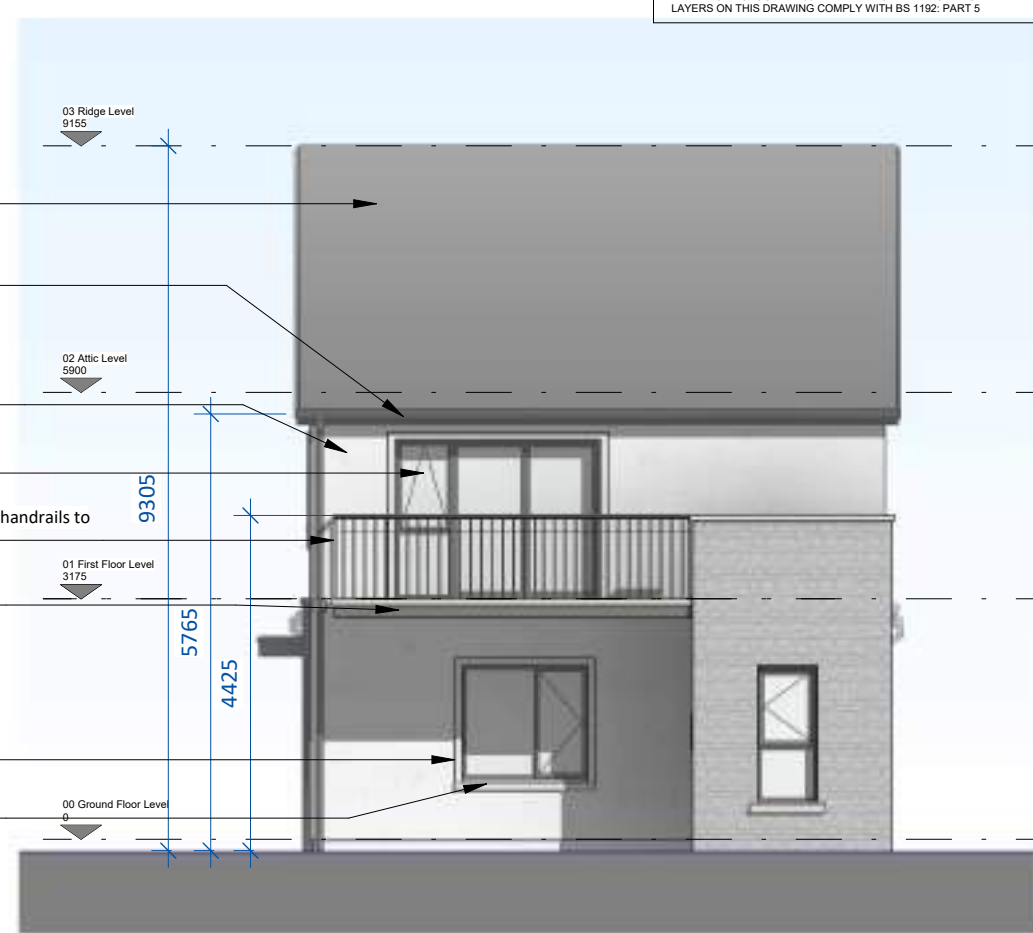
Scale 1 : 100 @ A3	Drawn MP	Checked EJG	Date 24/02/23
Project No. 22040	Drp. No. 22040-P-701	Revision P1	

☐ Information \ Comments	☐ Tender
☒ Planning	☐ Construction



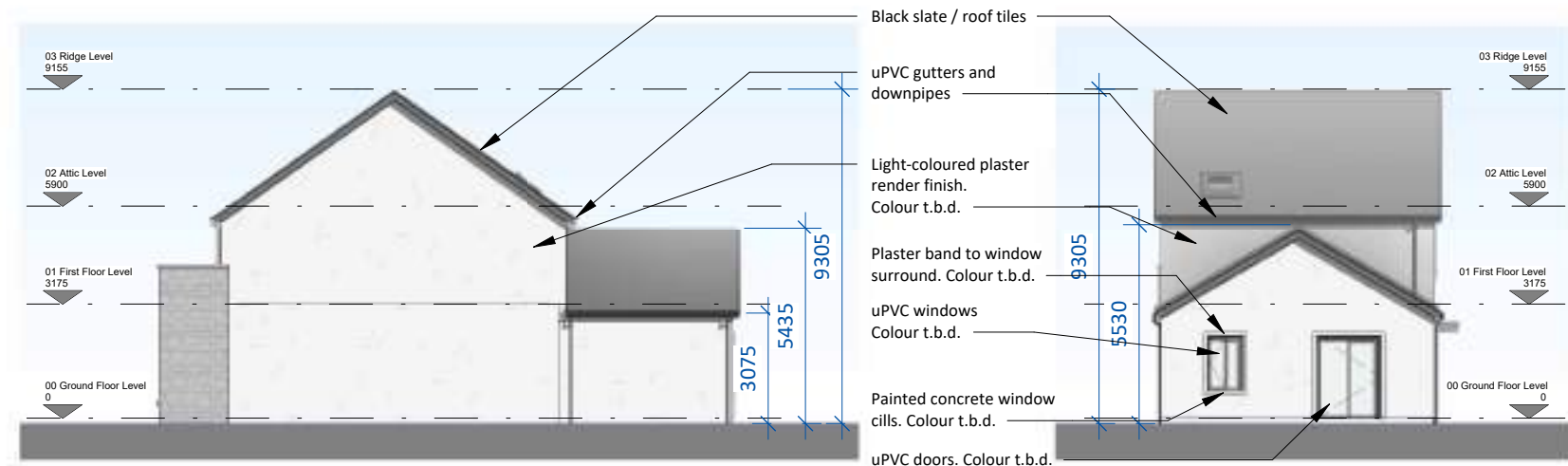
Side Elevation 1

SCALE 1 : 100



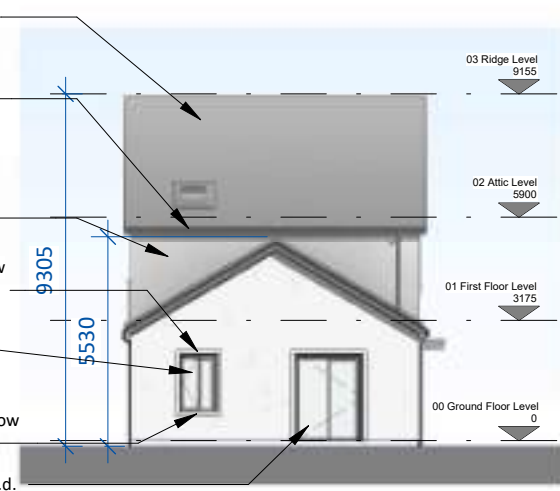
Front Elevation

SCALE 1 : 100



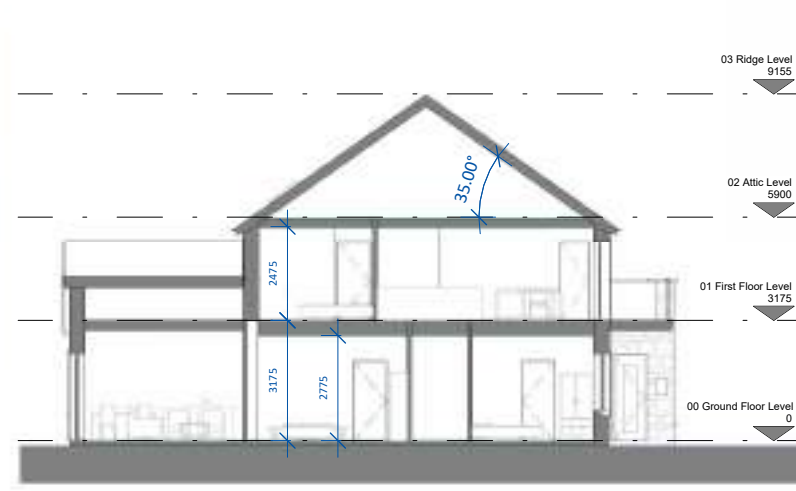
Side Elevation 2

SCALE 1 : 200



Rear Elevation

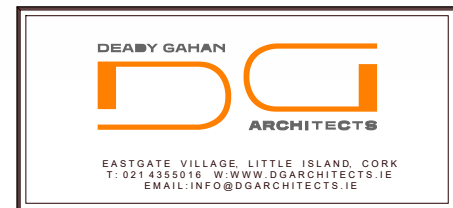
SCALE 1 : 200



Section A-A

SCALE 1 : 200

date	rev	name	chk	note
31.07.23	P1	MP	EJG	ISSUE FOR PLANNING



Project
Proposed Residential Development
At An Tamhnaigh
Clonakilty, Co Cork

Drawing title			
Unit Types D5, F1_Elevations and Section A-A			
Scale	Drawn	Checked	Date
As indicated @ A3	MP	EJG	24/02/23
Project No.	Drp. No.	Revision	
22040	22040-P-702	P1	
☐ Information \ Comments			☐ Tender
☒ Planning			☐ Construction